



Program Administration Form

Department of Consumer & Business Services

Building Codes Division

1535 Edgewater St. NW, Salem, OR

Mailing address: P.O. Box 14470, Salem, OR 97309-0404

Phone: 503-373-4133 • Fax: 503-378-2322 • Web: Oregon.gov/bcd

Department Use Only

New request

Renewal

Municipality:					Building official:				
Address:									
City:			State:				ZIP:		
Office location:									
Phone:			Fax:			Email:			

Mark program choice by indicating level:

X – Performed by the municipality applying for the renewal

A – Performed by a different municipality through an intergovernmental agreement with _____

C – Performed by county; X and A do not apply

S – Performed by state

Please see the key at the bottom of Page 2 for definitions.

Plans				Structural				Mechanical				Electrical				Plumbing					Manufactured Structures (MSI)	Park & Camp (PCI)	Master Builder Program (optional)
A	B	C	F	A	B	C	M	A	B	C	M	A	B	C	M	A	B	C	S	M			

Note: Assumption of a structural A-level program includes the requirements for accessibility [ORS 447.220]. MSI includes manufactured dwelling installations; alterations, accessory structures, buildings, and cabana installations; plan review; and inspections. Park and camp includes mobile home and manufactured dwelling parks, recreation parks, organizational camps, and picnic parks plan review and inspection.

Respond to the following if your municipality uses a third-party building official:

Which services are provided by the third party?: _____

Name of third party building official: _____

Names of all designated qualified employees: _____

Attach the following:

- Completed copy of municipality’s operating plan (OAR 918-020-0090)
- Electrical program requests (See requirements in OAR Chapter 918, Div. 308)
- Changes of service areas (Include map or description if applicable) **No change in service area**
- Current fee schedules for all programs
- Name of a contact person for surcharge report of assumed programs - **April Lucas april.lucas@ashland.or.us**

Name:					Phone:				
Address:									
City:			State:				ZIP:		

List inspectors and others, as requested, on the back of this sheet. Attach additional pages as necessary.

Official delegation or assumption of the programs above is requested or being renewed for the period beginning July 1, 20__.

The undersigned agrees this form and all accompanying attachments comply with the applicable statutes and rules outlined in OAR 918, Division 020, and ORS Chapter 455. The undersigned further agrees this municipality’s program will, at all times, be administered to operate in compliance with its operating plan and all applicable statutes and rules.

Authorized signature:		Title:		Date:
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**This form will not be accepted without signature.
Electronic signatures are accepted if the form is sent via email from the signor.**

**Updates to City of Ashland’s Building Division Operation Plan
include the following**

- **Appendix A**
 - IGA City of Medford

- **Appendix B**
 - IGA Jackson County

- **Appendix C**
 - Chapter 15 Ashland Municipal Code – “Buildings and Construction”

- **Appendix H**
 - Application Packet for Photo-Voltaic permit
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CITY OF ASHLAND

BUILDING DIVISION OPERATIONAL PLAN

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OPERATIONAL PLAN CITY OF ASHLAND BUILDING DIVISION

Funds:

Fees are charged by the Community Development Department, City of Ashland for Construction, addition, alteration of buildings and other structures, which include structural, electrical, mechanical, and plumbing. Fees are also charged for special inspections for moved buildings, demolition review and inspection monitoring of Disabled Access Barrier Removal Plans, and excavation permits.

Commercial structural and Commercial mechanical fees are calculated by valuations provided by the applicant, or valuation posted in the current ICC Valuation Tables.

Residential Valuations are only calculated off of the current ICC valuation Tables.

Building Department Fee Schedules for the City of Ashland are listed in the Miscellaneous Fees and Charges document, and can be found on the city's website (See Appendix L).

All fees collected by the Building Division in connection with the administration and enforcement of building inspection programs will be used for the administration and enforcement of those programs.

Equipment:

Inspectors will be supplied with equipment reasonable and necessary to administer and enforce the state specialty codes in an efficient, effective, timely and acceptable manner. Such equipment shall include, but not be limited to, vehicles capable of traveling to and from inspection sites as may be required, equipment necessary to insure employee safety on inspection sites, desktop or portable laptop computers, cellular telephones, I-pads, code books, inspection report forms, business cards and City of Ashland I.D. Photographs and other materials and resources reasonably required to carry out their inspection responsibilities.

Authority and Responsibility of the Building Official, Plans Examiners, and Inspectors:

The Building Official provides interpretations of the Oregon Structural Specialty Code, International Existing Building Code, Oregon Mechanical Specialty Code, Oregon Plumbing Specialty Code, Oregon Residential Specialty Code, Oregon Electrical Specialty Code, and the Oregon Energy Efficiency Specialty Code in conformance with the intent and purpose of these codes. The Building Department Program adopts and enforces rules and supplemental regulations in order to clarify the application of code provisions.

Plans Examiners are appropriately certified inspectors that examine plans, blueprints, architectural designs, and other documents for compliance with dwelling, mechanical, structural, plumbing, electrical, and Fire and Life-Safety codes. Code interpretation and guidance on technical issues is provided to architects, builders, other agencies, and the public within the Ashland jurisdiction.

Electrical Inspectors enforce the Oregon Electrical Specialty Code through plan review and inspections.

Plumbing Inspectors enforce the Oregon Plumbing Specialty Code through plan review and inspections.

Position descriptions and certifications are included with the submission of this plan.

The authority and responsibilities of the building official, plan reviewers and inspectors is based on Title 15 of the City of Ashland Municipal Code (See Appendix C).

Appeals Process to the Building Official:

An Appeal to a staff interpretation of code during plan review or inspection will include the following process.

Plan Review:

An informal appeal of a plan review decision refers the request to the building official who, in consultation with appropriate technical staff, reviews the request and makes a final determination in writing to the applicant.

A formal appeal of the building official's final decision may be forwarded to the City of Ashland Appeals Board for action or provided by options provided in ORS 455.475. A local appeal must be accompanied by the required fee, completed appeal form and justification for the request including any supporting data. (Ashland Municipal Code 15.04.200, Located in Appendix C).

Appeals may include submission of data for acceptance of Barrier Removal Plans for Disabled Access in compliance with ORS 447.241(7).

Occupancies requiring State Fire and Life-Safety plan review under Oregon Structural Code Section 107.3.5 may be appealed to:

The Oregon Building Codes Structures Board for structural or mechanical final decisions at the discretion of the building official or after all local process has been exhausted and the appeal is

technical and scientific in nature. The appeal must be accompanied by the required fee, a completed appeal form and related material for justification. (ORS 455.690).

Any appeal to Park & Camp rules may be made to the Oregon Manufactured Structures & Parks Board for final decision.

Inspection:

When there is an appeal of a field inspector's interpretation of a code item, the following process is used: the inspector refers the customer and related information to the building official. The building official, in consultation with appropriate technical staff, (this may include staff from Building Codes Division), reviews the request and provides a final decision in writing to the applicant.

Formal appeals of the building official's final decision may be forwarded to the Ashland Board of Appeals for final action or other options designated by ORS 455.475. A local appeal must be accompanied with the required fee, a completed appeal form and justification for the request.

Appeals of Local Appeals Board Decisions:

Review of local appeals board decision may be made to the appropriate state board for final action. The appeal must be accompanied by the required fee, a completed appeal form and justification for the request along with any supporting information. (ORS 455.690 & 479.853).

Structural Code – Building Codes Structures Board (Final Decision)

Mechanical Code – Building Codes Structures Board (Final Decision)

Residential Code – Residential Board (Final Decision)

Plumbing Code – Plumbing Board (Final Decision)

Electrical Code – Electrical/Elevator Board (Final Decision)

Receipts Collected in the Administration and Enforcement of Building Inspection Programs:

Building Division expenses are distributed to appropriate categories within the budget of the department. Indirect costs are allocated based on a per-employee, per-square foot of space occupied formula which is recalculated for each fiscal year. Revenues are accounted for based on permit type. An excess of expenditures over revenues is funded out of other sources of General Fund Revenues, while an excess of revenues over expenditures are required to be

reserved and only used for the administration and enforcement of building department programs.

Revenues and Expenditures:

The City of Ashland Building Division accounts for revenues and expenditures for each specialty code program it administers and enforces on an individual basis. Budgets for structural, mechanical, and plumbing programs are consolidated because most of the plan review and inspection activities are integrated and they can be reviewed and analyzed separately through accounting codes.

Retention and Retrieval of Records:

The division maintains plans, plan review information, and inspection records at 51 Winburn Way, Ashland, Oregon. Permit records are kept through a combination of electronic and hard copy files. The Eden Systems software package was implemented in 2000 and contains all permit related data for permits issued from 2000 to 2018, and the most current software system, Energov holds digital records of permits from April of 2018 to current.

Operational Plan:

Copies of the City of Ashland Building Division Operational Plan are available to the public by calling 541-488-5305.

Public Inquiries, Comments, & Complaints:

Call 541-488-5305 between 8:00am and 4:30pm., Monday through Friday. Voicemail to individual inspectors will be returned within twenty-four hours of receipt. The internet address for the City of Ashland is www.ashland.or.us. The general Building Division email is building@ashland.or.us. Inquiries, comments, and complaints will be referred to the Building Official for review and resolution.

Customer Questions re: permits, plan review, and inspections; type of permits sold; and hours of operation by phone and at the counter:

All permits for area served are sold to the public between 8:00am and 4:30pm, Monday through Friday. For questions regarding plan review, call 541-488-5305 or email to building@ashland.or.us. Minor label permits are inspected during business hours and consistent with OAR 918-100 for requirements of each label category.

Voicemail calls and emails outside of 8:00am and 4:30pm, will be handled the next working day. Customers can call a 24-hour voice recording with inspection requests at 541-552-2080, or they can use our online inspection request form at <https://www.ashland.or.us/FormPageBS.asp?FormID=104>.

Jurisdictional Boundaries:

Maps are posted at 51 Winburn Way, Ashland, Oregon, which indicate the City of Ashland Jurisdiction, as well as online at <https://gis.ashland.or.us/planning/>.

Permit applications that do not require plan review i.e., electrical, residential mechanical, and manufactured dwelling placement permits:

The City of Ashland provides an electronic Express permit issuance for smaller projects that are put to the front of the review line, and are reviewed within 1-5 business days, depending on staff availability. If additional information is required, the applicant will be advised of exactly what is needed to complete the application. When the permit application is deemed complete, the permit will be issued upon receipt of permit fees.

Applicants requesting permits in person may be required to demonstrate compliance with applicable licensing and registration requirements. Emailed applications will be checked for licensing and registration requirements through the statewide computer system.

Plan Review Process:

Certified individuals review structural, energy, mechanical, electrical, and plumbing plans for compliance with applicable codes. A plan review letter referencing applicable code sections is emailed to the applicants for any plans that do not demonstrate complete code compliance. The applicants are asked to demonstrate how code compliance for the areas addressed in the letter will be corrected to meet code compliance.

Fire and Life-Safety review required by the structural code is provided by appropriately certified staff.

Plans complete but not in Compliance:

Complete plans are accepted for review based on a checklist system. Plans deemed complete are noted on the application form. Notice of plan review corrections is provided with notification by email. Plans are then placed in an "on hold" status until response from the applicant is received. If no response forthcoming plans are held until plan review period prescribed by code has expired and then removed from our system.

Plans Complete & in compliance:

After completed review by certified individuals, plans are stamped "approved" and dated. The applicant is notified that the permit is ready to issue by telephone, email, or both. Upon receipt of permit fees and any remaining plan review fees not already collected, permits are issued. Approval period for plans varies depending on the complexity of the project. Foundation permits issued prior to full plan review are not allowed, however, deferred, and phased submittals limiting issuance to the foundation stage are not uncommon.

Inspection Standards

Inspection Services:

Permit applicants may request inspections either by telephone, email, or through our online inspection request form at any time. Inspections requested prior to 3:00pm are honored the following business day.

Inspection Requests shall include:

1. Permit number
2. Address of job site
3. Type of inspection
4. Contact name and phone number

Inspection requests without the above information may not be honored until all information is received.

Upon arrival at a job site, an inspector will verify that a permit has been posted and approved plans are on site. Applicants are requested to insure that plans and permits are maintained at the site in legible condition with protection from weather. Where required, inspections are performed based on approved plans. Upon completion, the inspector will note approval or corrections on the inspection request form. He will also sign the site inspection card or note corrections by posting notice of correction on the same form. The inspector will also enter the results into the departments electronic software system, Energov.

Certified Inspector Listing:

The Oregon Directory of Responsibility lists all inspectors for the Ashland jurisdiction. That list may be reproduced for applicants upon request.

Vest Building Official with authority to issue stop work orders:

Stop work orders are authorized under Title 15 of the Ashland Municipal Code.

Investigate and Enforce Electrical and Plumbing Violations under ORS 455.156:

The City of Ashland Compliance Officer is available to investigate licensing and registration requirements for plumbing, electrical and contractor licensing requirements. Individuals performing work without appropriate licensing are given orders to cease all work. With the discretion of the Building Official, assessment of civil penalty through local ordinance violation may be issued. In repeated cases, state compliance procedures may be instituted.

Compliance Programs

Procedures for public complaints:

A Code Violation Complaint Form, is available by calling the Ashland Building Division at 541-488-5305 between 8:am and 4:30pm. Monday through Friday, or online at <https://www.ashland.or.us/FormPageBS.asp?FormID=228>.

Voicemail after hours will be returned the following working day.

Complaints received by the Ashland Building Division regarding alleged violations for permits, licensing, or specialty codes, are forwarded to the Compliance Officer for review. The Compliance Officer in cooperation with the Building Official may enlist the assistance of the Ashland Police Department, Fire Marshal, or other officers in completing an investigation.

Compliance Request Process:

The procedure for receiving, verifying, investigating, follow up, and citation are outlined in written form. All procedures are handled in an informative and cooperative manner.

**INTERGOVERNMENTAL AGREEMENT
FOR BUILDING INSPECTION AND PLAN REVIEW SERVICES**

This agreement, hereinafter referred to as "Agreement ", is made and entered into by, and between, the City of Ashland, herein after referred to as "Ashland", and the City of Medford, herein after referred to as "Medford".

STATUTORY AUTHORITY

1. In accordance with and pursuant to the provisions of ORS Chapter 190, entitled "INTERGOVERNMENTAL COOPERATION", Ashland is authorized to jointly provide for the performance of a function or activity in cooperation with a "unit of local government" that includes a commission or other governmental authority in Oregon. By acceptance of this Agreement, Medford certifies that it meets the above criteria for eligibility for such cooperation with Ashland.
2. As a result of this Agreement and pursuant to ORS 190.030, any unit of local government, consolidated department, intergovernmental entity or administrative officers designated herein to perform specified functions or activities is vested with all powers, rights and duties relating to those functions and activities that are vested by law in each separate party to the Agreement, its officers and agencies.

RECITALS

1. ORS 190.010 permits units of local government to enter into Intergovernmental Agreements for the performance of any or all functions and activities that a party to the agreement has authority to perform; and
2. Ashland and Medford require the services of qualified building inspectors and plan reviewers for the performance of building code inspections/reviews; and
3. Ashland and Medford employ inspectors and plan reviewers with the particular training, ability, knowledge and experience to meet the needs of each jurisdiction.

NOW, THEREFORE in consideration for the mutual covenants contained herein the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

AGREEMENT

1. The recitals set forth above are true and correct and are incorporated herein by this reference.

2. COOPERATION AND SERVICES TO BE SHARED

a. Ashland Responsibilities:

- 1) Ashland shall make available, to Medford Building Department, personnel with the qualifications and state certifications necessary to perform the inspection and or plan reviews as requested by Medford. Inspectors shall be made available on those dates and at those times as are mutually agreed upon between the Ashland Building Official and the Medford Building Official. A statement of work is contained in Exhibit A attached hereto and made a part hereof by this reference. Ashland Inspectors providing services to Medford pursuant to this Agreement shall have all jurisdiction, authority, powers, functions, and duties of the Medford Inspectors with respect to any and all violations of State Laws and City of Medford Ordinances.

b. Medford Responsibilities:

- 1) Medford shall make available, to the Ashland Building Department, personnel with the qualifications and state certifications necessary to perform the inspection and plan reviews as requested by Ashland. Inspectors shall be made available on those dates and at those times as are mutually agreed upon between the Medford Building Official and Ashland Building Official. A statement of work is contained in Exhibit A attached hereto and made a part hereof by this reference. Medford Inspectors providing services to Ashland pursuant to this Agreement shall have all jurisdiction, authority, powers, functions, and duties of Ashland Inspectors with respect to any and all violations of State Laws and City of Ashland Ordinances.

3. APPOINTMENT FOR FUNDING

- a.** Ashland shall promptly reimburse Medford for the actual expenses incurred for the services provided. For purposes of this Agreement, actual cost shall be considered a flat rate cost in an amount of \$80.00 per hour and a \$40.00 for jurisdiction to jurisdiction per occurrence travel fee, not to exceed \$10,000 per year for the initial contract term.
- b.** Medford shall promptly reimburse Ashland for the actual expenses incurred for the services provided. For purposes of this Agreement, actual cost shall be considered a flat rate cost in an amount of \$80.00 per hour and a \$40.00 for jurisdiction to jurisdiction per occurrence travel fee, not to exceed \$10,000 per year for the initial contract term.

Rates will be updated annually to accommodate contracted salary and COLA increases for relative staff.

4. PERSONNEL.

No employees will be formally transferred pursuant to this Agreement. Ashland and Medford will continue to pay their own employees and shall keep accurate records of hours worked pursuant to this Agreement. Ashland and Medford are subject employers under ORS Chapter 656 and shall procure and maintain current valid workers compensation insurance coverage for all subject workers throughout the period of this Agreement. The Agreement does not change the status of any employee, contractor, or officer of Ashland or Medford.

5. LIMITATIONS OF LIABILITY

All parties agree that each party shall not be subject to claim, action, or liability arising in any manner whatsoever out of any act or omission, interruption, or cessation of services by the other party under this agreement. Each party shall not be liable or responsible for any direct, indirect special or consequential damages sustained by the other party to this agreement, including but not limited to, delay or interruption of business activities that may result in any manner whatsoever from any act or omission, interruption, or cessation of services.

6. INDEMNIFICATION

Subject to the limitations and conditions of the Oregon Tort Claims Act, ORS 30.260 et seq., and Article XI, Section 10 of the Oregon Constitution, each Party to this agreement shall be solely responsible for its own actions and/or failure to act and shall indemnify and hold the other party harmless from any liability, cost or damage arising there from. Provided, however, that neither party shall be required to indemnify the others for any claim, loss or liability arising solely out of the wrongful act of the other's officers, employees or agents. The provisions of this paragraph shall survive the expiration or sooner termination of this agreement.

7. TERM OF AGREEMENT

The term of this Agreement shall become effective July 1, 2023 and at which time that this Agreement is fully executed by all Parties and shall continue in full force until June 30, 2033.

8. TERMINATION

- a. **Mutual Consent.** This contract may be terminated at any time by mutual consent of both parties.
- b. **Parties' Convenience.** This contract may be terminated at any time by either Party upon 30 days notice in writing and delivered by certified mail or in person.
- c. **For Cause.** Either party may terminate or modify this contract, in whole or in part,

effective upon delivery of written notice to Ashland or Medford, or at such later date as may be established by the Ashland or Medford, under any of the following conditions:

- 1) If any license or certificate required by law or regulation to be held by Ashland or Medford to provide the services required by this contract is for any reason denied, revoked, suspended, or not renewed.

d. For Default or Breach.

- 1) Either Ashland or Medford may terminate this contract in the event of a breach of the contract by the other. Prior to such termination the party seeking termination shall give to the other party written notice of the breach and intent to terminate. If the party committing the breach has not entirely cured the breach within 15 days of the date of the notice, or within such other period as the party giving the notice may authorize or require, then the contract may be terminated at any time thereafter by a written notice of termination by the party giving notice.
- 2) Waiver of any breach of any term or condition of this Agreement shall not be deemed a waiver of any prior or subsequent breach. No term shall be waived or deleted except in writing signed in advance by the parties.
- 3) In the event of a dispute relating to this Agreement, the parties shall first attempt to resolve the dispute through mediation. The parties will share the administrative costs of the mediation and the mediator's fees equally. Mediation fees shall be limited to those customarily charged in Jackson County, Oregon by state court appointed mediators. The parties will attempt to jointly select a mediator within ten (10) days of a party giving notice to the other party of its desire to undertake mediation. In the event the parties cannot agree to a mediator within such ten (10) day period, then within five (5) days thereafter, each shall select a mediator, and the two selected mediators will designate a third mediator who will then mediate the dispute. The first two mediators may charge the responsible party who initiated this action for its services to select the third mediator. In the event mediation fails to resolve the dispute, a party may commence legal proceedings, and in such case each party shall be responsible for its own costs and attorneys' fees incurred in connection with such proceedings.

9. METHOD AND PLACE OF GIVING NOTICE, SUBMITTING BILLS, AND MAKING PAYMENTS. All notices, bills, and payments shall be made in writing and may be given by personal delivery, email, or by mail. Notices, bills, and payments sent by mail should be addressed as follows:

City of Ashland
Community Development Dept.
51 Winburn Way
Ashland, Oregon 97520
Attn: April Lucas/cc: Steven Matiaco

City of Medford
Building Safety Dept.
200 S Ivy Street
Medford, Oregon 97501
Attn: Carol Wedman

10. CONSTRUCTION, MODIFICATIONS OF THIS AGREEMENT

- a. This Agreement shall not become effective until all parties hereto have executed this Agreement.
- b. This Agreement shall be construed and enforced in accordance with the laws of the State of Oregon.
- c. THIS AGREEMENT CONTAINS THE ENTIRE AGREEMENT BETWEEN THE PARTIES HERETO, AS TO THIS SUBJECT MATTER, AND SUPERSEDES ANY AND ALL PRIOR EXPRESS AND /OR IMPLIED STATEMENTS, NEGOTIATIONS AND /OR AGREEMENTS BETWEEN THE PARTIES, EITHER ORAL OR WRITTEN, AS TO THE SUBJECT MATTER, AND MAY NOT BE AMENDED, CHANGED OR MODIFIED IN ANY WAY, EXCEPT BY WRITTEN AGREEMENT SIGNED BY ALL PARTIES HERETO.

IN WITNESS WHEREOF, the parties hereby enter into this agreement.

Each party, by signature below of its authorized representative, hereby acknowledges that it has read this Agreement, understands it, and agrees to be bound by its terms and conditions. Each person signing this Agreement represents and warrants having authority to execute this Agreement.

CITY OF MEDFORD,
OREGON



Samual Barnum Date
Building Safety Director

CITY OF ASHLAND,
OREGON



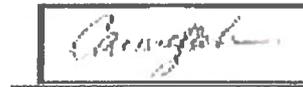
Joseph L. Lessard Date
City Manager
Joseph L. Lessard

Approve as to Legal Sufficiency:



Medford City Attorney's Office

Approve as to Legal Sufficiency:



Ashland City Attorney's Office

STATEMENT OF WORK

EXHIBIT A

Through this Agreement the City of Ashland agrees to perform building electrical, plumbing, and structural/mechanical and manufactured home set up inspections on behalf of the City of Medford and the City of Medford agrees to perform building electrical, plumbing and structural /mechanical and manufactured home set up inspections on behalf of the City of Ashland.

A. The City of Ashland shall:

When performing inspections/plan review for the City of Medford:

1. Comply with all requirements and regulations of the ORS's and OAR's pertaining to the electrical, plumbing, and structural /mechanical programs and manufactured home programs.
2. Provide State of Oregon certified/licensed inspectors and plan reviewers.
3. Perform electrical, plumbing, structural /mechanical and manufactured home inspections as requested by the City within two (2) business days.
4. Complete Inspection Report Form and/or convey inspection results to responsible Inspector at the time of inspection. If using the Inspection Report Form, return with correction notes to Medford at end of inspection day.
5. Provide identification upon entering a job site and the reason for the site visit.
6. Comply with the inspection notification requirements of applicable ORS's and OAR's.
7. Provide plan review(s) as requested by Medford.
8. Provide to Medford a monthly request for payment to be submitted with a detailed spreadsheet listing date and location of inspection, type of inspection and inspection time spent.

When requesting building inspections to be done by Medford:

1. Provide all necessary forms
2. Give a minimum of one day notice prior to an inspection.
3. Provide site location, type of inspection needed, and permit number and information.

B. The City of Medford shall:

When performing building inspections/plan review for City of Ashland:

1. Comply with all requirements and regulations of the ORS's and OAR's pertaining to the electrical, plumbing, and structural /mechanical programs and manufactured home programs.
2. Provide State of Oregon certified/licensed inspectors and plan reviewers.
3. Perform electrical, plumbing, structural /mechanical and manufactured home inspections as requested by the City within two (2) business days.
4. Complete Inspection Report Form and/or convey inspection results to responsible Inspector at the time of inspection. If using Inspection Report Form, return with correction notes to Ashland at end of inspection day.
5. Provide identification upon entering a job site and the reason for the site visit.
6. Comply with the inspection notification requirements of applicable ORS's and OAR's.
7. Provide plan review(s) as requested by Ashland
8. Provide to Ashland a monthly request for payment to be submitted with a detailed spreadsheet listing date and location of inspection, type of inspection and inspection time spent.

When requesting building inspections to be done by Ashland:

1. Provide all necessary forms.
2. Give a minimum of one day notice prior to an inspection.
3. Provide site location, type of inspection needed, and permit number and information.

INTERGOVERNMENTAL AGREEMENT
FOR BUILDING INSPECTION SERVICES

This agreement, hereinafter referred to as "Agreement", is made and entered into by and between the County of Jackson, Board of Commissioners, herein after referred to "County", and City of Ashland ("City").

STATUTORY AUTHORITY

1. In accordance with and pursuant to the provisions of ORS Chapter 190, entitled "INTERGOVERNMENTAL COOPERATION", the County is authorized to jointly provide for the performance of a function or activity in cooperation with a "unit of local government" that includes a commission or other governmental authority in Oregon. By acceptance of this Agreement, City certifies that it meets the above criteria for eligibility for such cooperation with the County.

2. As a result of this Agreement and pursuant to ORS 190.030, any unit of local government, consolidated department, intergovernmental entity or administrative officers designated herein to perform specified functions or activities is vested with all powers, rights and duties relating to those functions and activities that are vested by law in each separate party to the Agreement, its officers and agencies.

RECITAL

1. ORS 190.010 permits units of local government to enter into intergovernmental agreements for the performance of any or all functions and activities that a party to the agreement has authority to perform; and
2. The County and the City require the services of qualified building inspectors for the performance of routine building code inspections; and
3. The County and the City employ inspectors with the particular training, ability, knowledge, and experience to meet the needs of the County and the City.

NOW, THEREFORE in consideration for the mutual covenants contained herein the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

AGREEMENT

1. The recitals set forth above are true and correct and are incorporated herein by this reference.

2. COOPERATION AND SERVICES TO BE SHARED

a. County Responsibilities:

- 1) The County shall make available to the City Building Department personnel with the qualifications and state certifications necessary to perform the inspection requested by the City. Inspectors shall be made available on those dates and at those times as are mutually agreed upon between the Ashland Building Official and Jackson County Building Official. A statement of work is contained in Exhibit A attached hereto and made a part hereof by this reference. The County Inspectors providing services to the City pursuant to this Agreement shall have all jurisdiction, authority, powers, functions, and duties of the City Inspectors with respect to any and all violations of State Law and City Ordinances.

b. City Responsibilities:

- 1) The City shall make available to the County Building Department personnel with the qualifications and state certifications necessary to perform the inspection requested by the County. Inspectors shall be made available on those dates and at those times as are mutually agreed upon between Jackson County Building Official and Ashland Building Official. A statement of work is contained in Exhibit A attached hereto and made a part hereof by this reference. The City Inspectors providing services to the County pursuant to this Agreement shall have all jurisdiction, authority, powers, functions, and duties of the County Inspectors with respect to any and all violations of State Law and County Ordinances.

3. APPORTIONMENT FOR FUNDING

- a. The County shall promptly reimburse the City for the actual expenses incurred for the services provided. For purposes of this Agreement, actual cost shall be considered a flat rate costs in an amount of \$70.00 per hour, not to exceed \$10,000 for the initial contract term.
- b. The City shall promptly reimburse the County for the actual expenses incurred for the services provided. For purposes of this Agreement, actual cost shall be considered a flat rate costs in an amount of \$70.00 per hour, not to exceed \$10,000 for the initial contract term.

4. PERSONNEL. No employees will be formally transferred pursuant to this Agreement. The County and City will continue to pay its employees and shall keep accurate records of hours worked pursuant to this Agreement. The City and the County are subject employers under ORS Chapter 656, and shall procure and maintain current valid workers compensation insurance coverage for all subject workers throughout the period of this Agreement. The Agreement does not change the status of any employee, contractor or officer of the City or County.

5. LIMITATIONS OF LIABILITY

All parties agree that each party shall not be subject to claim, action, or liability arising in any manner whatsoever out of any act or omission, interruption, or cessation of services by the other party under this agreement. Each party shall not be liable or responsible for any direct, indirect special or consequential damages sustained by the other party to this agreement, including, but not limited to, delay, or interruption of business activities that may result in any manner whatsoever from any act or omission, interruption, or cessation of services.

6. INDEMNIFICATION

Subject to the limitations and conditions of the Oregon Tort Claims Act, ORS 30.260 et seq., and Article XI, Section 10 of the Oregon Constitution, each Party to this agreement shall be solely responsible for its own actions and/or failure to act and shall indemnify and hold the other party harmless from any liability, cost or damage arising there from. Provided, however, that neither party shall be required to indemnify the others for any claim, loss or liability arising solely out of the wrongful act of the others officers, employees or agents. The provisions of this paragraph shall survive the expiration or sooner termination of this agreement.

7. TERM OF AGREEMENT

The term of this Agreement shall become effective upon the date which this Agreement is fully executed by all Parties and shall continue in full force until terminated as provided herein.

8. TERMINATION

- a. **Mutual Consent.** This contract may be terminated at any time by mutual consent of both parties.
- b. **Parties' Convenience.** This contract may be terminated at any time by either Party upon 30 days notice in writing and delivered by certified mail or in person.
- c. **For Cause.** Either party may terminate or modify this contract, in whole or in part, effective upon delivery of written notice to the City or County, or at such later date as may be established by the County, under any of the following conditions:
 - 1) If any license or certificate required by law or regulation to be held by the City or the County to provide the services required by this contract is for any reason denied, revoked, suspended, or not renewed.
- d. **For Default or Breach.**
 - 1) Either County or City may terminate this contract in the event of a breach of the

contract by the other. Prior to such termination the party seeking termination shall give to the other party written notice of the breach and intent to terminate. If the party committing the breach has not entirely cured the breach within 15 days of the date of the notice, or within such other period as the party giving the notice may authorize or require, then the contract may be terminated at any time thereafter by a written notice of termination by the party giving notice.

- 2) Waiver of any breach of any term or condition of this Agreement shall not be deemed a waiver of any prior or subsequent breach. No term shall be waived or deleted except in writing signed in advance by the parties.
- 3) In the event of a dispute relating to this Agreement, the parties shall first attempt to resolve the dispute through mediation. The parties will share the administrative costs of the mediation and the mediator's fees equally. Mediation fees shall be limited to those customarily charged in Jackson County, Oregon by state court appointed mediators. The parties will attempt to jointly select a mediator within ten (10) days of a party giving notice to the other party of its desire to undertake mediation. In the event the parties cannot agree to a mediator within such ten (10) day period, then within five (5) days thereafter, each shall select a mediator, and the two selected mediators will designate a third mediator who will then mediate the dispute. The first two mediators may charge the choosing party for its services to select the third mediator. In the event mediation fails to resolve the dispute, a party may commence legal proceedings, and in such case each party shall be responsible for its own costs and attorneys' fees incurred in connection with such proceedings.

9. **METHOD AND PLACE OF GIVING NOTICE, SUBMITTING BILLS, AND MAKING PAYMENTS.** All notices, bills, and payments shall be made in writing and may be given by personal delivery or by mail. Notices, bills, and payments sent by mail should be addressed as follows:

Jackson County
Attn: Ted Zuk
10 South Oakdale, Room 100
Medford, OR 97501
Phone: 541-774-6921

City of Ashland
Attn: Carolyn Schwendener
51 Winburn Way
Ashland, OR 97520
Phone: 541-488-5309

10. CONSTRUCTION, MODIFICATIONS OF THIS AGREEMENT

- a. This Agreement shall not become effective until all parties hereto have executed this Agreement.
- b. This Agreement shall be construed and enforced in accordance with the laws of the State of Oregon.
- c. THIS AGREEMENT CONTAINS THE ENTIRE AGREEMENT BETWEEN THE PARTIES HERETO AND SUPERSEDES ANY AND ALL PRIOR EXPRESS AND/OR IMPLIED STATEMENTS, NEGOTIATIONS AND/OR AGREEMENTS BETWEEN THE PARTIES, EITHER ORAL OR WRITTEN, AND MAY NOT BE AMENDED, CHANGED OR MODIFIED IN ANY WAY, EXCEPT BY WRITTEN AGREEMENT SIGNED BY ALL PARTIES HERETO.

IN WITNESS WHEREOF, the parties hereby enter into this agreement.

Each party, by signature below of its authorized representative, hereby acknowledges that it has read this Agreement, understands it, and agrees to be bound by its terms and conditions. Each person signing this Agreement represents and warrants to have authority to execute this Agreement.

JACKSON COUNTY OREGON

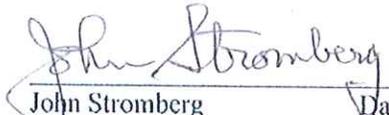
CITY OF ASHLAND OREGON



Danny Jordan
Administrator

Date

9/11/13

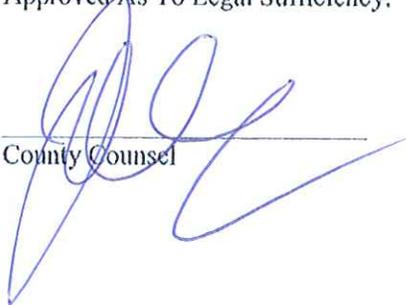


John Stromberg
Mayor

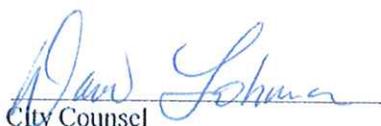
Date

Approved As To Legal Sufficiency:

Approved As To Legal Sufficiency:



County Counsel



City Counsel

STATEMENT OF WORK

EXHIBIT A

Through this Agreement the City of Ashland agrees to perform site built electrical, plumbing, and structural/mechanical and manufactured home set up inspections on behalf of Jackson County and Jackson County agrees to perform site built electrical, plumbing and structural/mechanical and manufactured home set up inspections on behalf of the City of Ashland.

A. The City of Ashland shall:

When performing site built inspections for the County:

1. Comply with all requirements and regulations of the ORS and OAR pertaining to the electrical, plumbing, and structural/mechanical programs and manufactured home programs.
2. Provide State of Oregon certified/licensed inspectors.
3. Perform electrical, plumbing, structural/mechanical and manufactured home inspections as requested by the County within two (2) business days.
4. Complete Inspection Report Form at the time of inspection (form provided by the County). Return Inspection Report Form with correction notes to the County at end of inspection day.
5. Provide identification upon entering a job site and the reason for the site visit.
6. Comply with the inspection notification requirements of applicable ORS and OAR.
7. Provide to the County a monthly request for payment to be submitted with a detailed spreadsheet listing date and location of inspection, type of inspection and inspection time spent.

When requesting site built inspections to be done by the County:

1. Provide all necessary forms
2. Give a minimum of one day notice prior to an inspection.
3. Provide site location, type of inspection needed, and permit number and information.

B. The County shall:

When performing site built inspections for the City:

1. Comply with all requirements and regulations of the ORS and OAR pertaining to the electrical, plumbing, and structural/mechanical programs and manufactured home programs.
2. Provide State of Oregon certified/licensed inspectors.
3. Perform electrical, plumbing, structural/mechanical and manufactured home inspections as requested by the City within two (2) business days.
4. Complete Inspection Report Form at the time of inspection (form provided by the City). Return Inspection Report Form with correction notes to the City at end of inspection day.
5. Provide identification upon entering a job site and the reason for the site visit.
6. Comply with the inspection notification requirements of applicable ORS and OAR.
7. Provide to the City a monthly request for payment to be submitted with a detailed spreadsheet listing date and location of inspection, type of inspection and inspection time spent.

When requesting site built inspections to be done by the City:

1. Provide all necessary forms
2. Give a minimum of one day notice prior to an inspection.
3. Provide site location, type of inspection needed, and permit number and information.

Title 15

BUILDINGS AND CONSTRUCTION

Chapters:

- 15.04** **Buildings and Construction**
- 15.06** **Solid Fuel Burning Device Regulations**
- 15.08** **Moving of Buildings**
- 15.10** **Flood Damage Prevention Regulations**
- 15.16** **Plumbing Code**
- 15.20** **Electrical Code**
- 15.24** **Underground Electrical Service**
- 15.28** **Fire Prevention Code**
- 15.36** **Numbering of Buildings**

Chapter 15.04

BUILDINGS AND CONSTRUCTION

Sections:

- 15.04.010** **Code Adoption**
- 15.04.020** **City Code Administration**
- 15.04.030** **Building Official Designated**
- 15.04.090** **Building Permits Generally**
- 15.04.092** **Building Permits LEED Certified Priority Plan Check**
- 15.04.095** **Building Permits – Required Street Dedications**
- 15.04.100** **Inspections Required**
- 15.04.105** **Barrier Removal Improvement Plans, Liens**
- 15.04.115** **Conversion to For-Purchase Housing**
- 15.04.185** **Heat Pumps and Mechanical Devices**
- 15.04.190** **Underground Utilities**
- 15.04.192** **Location of Electric Meters**
- 15.04.200** **Board of Appeals - Appeal Process**
- 15.04.205** **Dangerous Buildings**
- 15.04.210** **Demolition or Relocation of Structures**
- 15.04.212** **Demolition Review Committee**
- 15.04.214** **Approval Process**
- 15.04.216** **Demolition and Relocation Standards**

- 15.04.220 Mechanical Specialty Code Fee**
- 15.04.240 Certificate of Occupancy**
- 15.04.250 Notice of Noncompliance and Violation**
- 15.04.260 Violation Administration Penalty**

15.04.010 Code Adoption

A. The current versions of the following building codes are adopted as a part of this chapter and are further referred to in this title as “the specialty codes.”

1. The Oregon Structural Specialty Code (OSSC) as defined in OAR [918-460-0010](#).
2. The Oregon Plumbing Specialty Code (OPSC) as defined in OAR [918-750-0110](#).
3. The Oregon Mechanical Specialty Code (OMSC) as defined in OAR [918-440-0010](#).
4. The Oregon Residential Specialty Code (ORSC) as defined in OAR [918-480-0010](#), including ORSC R327.4.
 - a. The provisions of Oregon Residential Specialty Code (ORSC) R327.4.1 are not herein adopted except that the following ORSC R327.4.1 shall apply within the City of Ashland: ORSC R327.4.1, Qualifying lots of record. Qualifying lots of record shall meet all the following:
 - (1) Be located in a wildlife hazard zone as identified by the local municipality using criteria established by the Oregon Department of Forestry. The local municipality is not required to include all areas identified by the Oregon Department of Forestry as wildfire hazard zones. The zone shall be detailed in the local adopting ordinance.
 - b. The City of Ashland Building Official has discretion to waive the requirements of ORSC R327.4 for any particular property upon making a written determination that the purposes of ORSC R327.4 have been achieved through substantial compliance with its standards.
5. The Oregon Electrical Specialty Code as defined in OAR [918-305-0100](#).
6. The Oregon Energy Efficiency Specialty Code as defined in OAR [918-460-0500](#).

B. The following matters are adopted locally and are regulated under the current Oregon Specialty Codes.

1. *Retaining Walls.*
 - a. Exception 1: Retaining walls four (4) feet or less in height, measured from the bottom of the footing to the top of the wall, that do not support ascending slopes exceeding 3:1 (thirty-three percent (33%)).
 - b. Exception 2: retaining walls that do not support a nonsoil surcharge.
2. *Fences.*

- a. Exception 1: Fences constructed of wood and similar materials not over seven (7) feet (2,134 mm) high, fences constructed of masonry, concrete and similar materials not over four (4) feet high, and typical field fencing not over eight (8) feet (2,438 mm) high when constructed of woven wire or chain link. Exception: all barriers around swimming pools require a permit.
 - b. This chapter does not preclude the requirements of other departments such as the Planning and Fire Departments.
3. Tanks located outside of a building or structure that contain hazardous materials as defined by the current adopted Oregon Structural Specialty Code and in proximity to buildings and structures regulated by such code as to create a hazardous condition to occupants of a building shall be regulated by the City of Ashland Building Department.
 - a. To determine such hazardous conditions, Chapter 4 of the current adopted Oregon Structural Specialty Code and referenced standards, as well as applicable sections of the current State adopted fire code, shall be used for determining adequate separation type and quantities of hazardous materials contained in tanks for the purpose of maintaining safety to the occupants of a given building or structure.
 - b. Other tanks located outside, where the result of a structural failure could impose a detrimental load on a building or structure, shall also be regulated by the City of Ashland Building Department.
 - c. The scope of regulation for such tanks shall be limited to structural support of tanks. When determined that hazardous conditions are present, structural support of such tanks shall accommodate all applicable loads as prescribed in Chapter 16 of the current adopted Oregon Structural Specialty Code and referenced standards.
 - d. Requirements scoped in the current adopted specialty codes, such as for tanks containing heating oil, shall be regulated by the applicable adopted codes.
 - e. This chapter does not preclude the requirements of other departments such as Planning, Fire and DEQ.
4. Cellular phone, radio, television, and other telecommunication and broadcast towers shall be regulated in accordance with this chapter.
 - a. Such towers and support structures that are existing and not attached to or supported by a regulated building shall not be regulated by the Building Code.
 - b. All new towers and support structures shall be regulated by the current adopted Oregon Structural Specialty Code and referenced design standards to address all imposed structural loads.
 - c. Existing cell towers supported by a building or structure with proposed added or shifted loads that cause an increase in gravity loading by more than five percent (5%) shall be analyzed by an Oregon licensed design professional to address the proposed loading. The existing structure and its addition, acting together as a single structure, shall be shown to meet the requirements of Chapter 16 of the

current adopted Oregon Structural Specialty Code and referenced standards. Any existing lateral load-carrying structural element whose demand-capacity ratio, with the addition considered, is not more than ten percent (10%) greater than its demand-capacity ratio with the addition ignored shall be permitted to remain unaltered.

d. Existing support structures and equipment that are relocated to another area of the regulated building shall be regulated as a new tower or support structure in accordance with the current adopted Oregon Structural Specialty Code.

5. Flag poles not attached to a regulated building that exceed twenty-five (25) feet in height.

a. Flag poles extending to a height of more than twenty-five (25) feet above the supporting grade shall be designed in accordance with the current adopted Oregon Structural Specialty Code.

b. Flag poles attached to or supported by a regulated building or structure shall be designed for attachments to the building in accordance with the current adopted structural specialty code. The building, whether new or existing, shall be analyzed and designed to accommodate all imposed loads in accordance with the applicable current adopted specialty codes.

c. This chapter does not preclude the requirements of other departments such as Planning.

6. Ground-mounted photovoltaic systems ten (10) feet or greater in height measured to the highest point of the installations and any ground-mounted system where public access is permitted under the structure shall meet the requirements of Chapter 16 of the current adopted Oregon Structural Specialty Code and referenced standards.

7. Signs shall be regulated in accordance with Appendix H of the Oregon Structural Specialty Code.

a. This chapter does not preclude the requirements of other departments such as Planning and the Oregon Department of Transportation (ODOT).

8. The design and construction of in-ground swimming pools.

a. Structural drawings for construction of swimming pools other than aboveground swimming pools shall be certified by an Oregon registered engineer or an Oregon licensed architect. Calculations for such drawings shall be provided and be in accordance with the design criteria established and outlined in Chapter 3 of the current ORSC, or Chapter 16 of the current OSSC.

C. The following matters are adopted locally and are outside the statutory authority of the Oregon Specialty Codes:

1. Appendix G of the most recent International Building Code (IBC) for Flood-Resistant Construction.

2. Appendix J of the most recent International Building Code (IBC) for Grading. (Ord. 3238, amended, 06/18/2024; Ord. 3198, amended, 06/01/2021; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

15.04.020 City Code Administration

The City shall provide for the administration of a plan checking, permit and inspection program for structural, mechanical, plumbing work and electrical work. This City program is applicable to public buildings, including State buildings, as well as private buildings. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2685, amended, 1992; Ord. 1825, amended, 1974)

15.04.030 Building Official Designated

The City Manager shall designate a City employee to carry out the functions and duties of the Building Official as described in the Oregon 2004 Structural Specialty Code, unless such individual is a Department Head, in which case such designation shall be by the Mayor with confirmation by the City Council. Such person shall be state certified as a Building Official in all the codes adopted by this chapter, and may delegate portions of responsibility as may be deemed necessary. Designation by the City Manager of the Building Official shall be done in writing in a document filed with the City Recorder. (Ord. 3238, amended, 06/18/2024; Ord. 3192 § 113, amended, 11/17/2020; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

15.04.090 Building Permits Generally

Permits shall be obtained as required by the specialty codes. General contractors shall obtain all permits for a given job at one (1) time. No building permit that would result in the construction of new structures or the enlargement or change in use of existing structures shall be issued prior to the presentation of an approved zoning permit to the Building Official by the applicant. Such zoning permit shall be issued by the Planning Director, or a designee, and shall verify that the contemplated project is in accord with all applicable zoning and planning regulations. It shall also set forth any special conditions to be met by the applicant prior to issuance of a certificate of occupancy or any other planning and zoning related conditions to be enforced by the Building Official. The issuance and continued validity of any building permit issued by the City of Ashland shall be contingent on compliance by the applicant with all applicable City, County, State, or other regulations. On properties or in areas designated to be of significant historical value or interest applications for building permits not requiring review by the Planning Commission pursuant to AMC Title [18](#) shall be referred to the Ashland Historic Preservation Advisory Committee for review and recommendations, who shall have a period of time not to exceed seven (7) days to complete such review and recommendations. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2775, amended; Ord. 2712 § 2, amended, 1993; Ord. 2685, amended, 1992; Ord. 2037 § 3, amended, 1979; Ord. 1981 § 6, amended, 1978)

15.04.092 Building Permits LEED Certified Priority Plan Check

A. New buildings and existing buildings whose repair, alteration or rehabilitation costs exceed fifty percent (50%) of their replacement costs, that will be pursuing certification under the Leadership in Energy and Environmental

Design Green Building Rating System (LEED) of the United States Green Building Council shall receive top priority in the plan check processing.

B. Applicants wishing to receive priority plan check processing shall provide the following documentation with the building permit submittals demonstrating the completion of the following steps in working towards LEED certification:

1. Hiring and retaining a LEED Accredited Professional as part of the project team throughout design and construction of the project.
2. The LEED checklist indicating the credits that will be pursued. Building permit submittals must clearly specify the materials, systems and strategies they will use to achieve the credits in the plans submitted to the City for plan check approval.

C. A final report shall be prepared by the LEED Accredited Professional and presented to the City upon completion of the project verifying that the project has met, or exceeded, the LEED standard. (Ord. 3238, amended, 06/18/2024; Ord. 3035, added, 08/17/2010)

15.04.095 Building Permits – Required Street Dedications

In issuing building permits for proposed buildings, dedication of abutting streets shall first be made to the City of Ashland as follows:

A. *Dedication of Streets – Public Need.* Whenever a property owner requests a building permit, land partition or subdivision approval, and such proposed use of the land or division of the land causes a public need for increased street right-of-way, the property owner shall dedicate such additional right-of-way to the City of Ashland before approval is given for the subdivision, land partition or application for a building permit. In determining public need the following factors shall be considered:

1. Accommodation of increased traffic generated by the development;
2. The ability to provide traffic circulation to neighboring properties in order to make the most economic use of land, thereby fulfilling the intent of the City Comprehensive Plan and State Planning Code;
3. The health, safety, and welfare of future residents of the area, if the area is developed through flag partitions or other piecemeal, irregular means, causing inadequate access; and
4. Such other factors as may be found relevant during consideration of a particular application.

B. *Dedication of Streets – Width Established.* Whenever a property owner requests approval of a land partition, subdivision or building permit, and the property abuts on a street shown on Exhibit “A” attached to Ordinance No. 2012 which is hereby incorporated herein, and the street at that location is not dedicated to the widths required by AMC 18.80.020.B, approval of the application shall only be granted after the property owner has dedicated such

required additional right-of-way to the City of Ashland. For purposes of this section, all streets not designated on Exhibit "A" as arterial or collectors shall be designated as minor streets.

C. *Dedication of Streets – New Streets.* Whenever a property owner requests approval of a land partition, subdivision or building permit, and the property abuts on a planned street which has been adopted by resolution of the Planning Commission as a part of a precise street plan for an area, approval of the application shall only be granted after the property owner has dedicated such required right-of-way to the City of Ashland.

D. *Setbacks.* All setbacks required under AMC Title [18](#) shall be measured from the new right-of-way line established pursuant to subsections [A](#) through [C](#) above. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2052 § 6, amended, 1979)

15.04.100 Inspections Required

Inspections shall be called for and made as provided in the specialty codes. (Ord. 3238, amended, 06/18/2024; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

15.04.105 Barrier Removal Improvement Plans, Liens

A. The Building Official may approve a Barrier Removal Improvement Plan authorized under ORS [447.241](#) when:

1. All requirements of that statute are met and approved by the Building Official;
2. The approval by the Building Official is made in writing together with the date of the approval; and
3. The value of the improvements required by the plan are entered into the City lien docket as provided in subsection [B](#) of this section or adequate security is deposited by the plan applicant as provided in subsection [C](#) of this section.

B. Unless adequate security is deposited as provided in subsection [C](#) of this section, the value of the improvements required by the plan shall be chargeable as a lien upon the property subject to the plan. The City Recorder shall enter in the City lien docket a statement of the value of the plan improvements together with a description of the plan improvements, the name of the owners of the property and the date of the approval of the plan by the Building Official. Upon such entry in the lien docket, the amount so entered shall become a lien upon the property.

1. The determination of value for the plan improvements shall be made by the Building Official. Such determination shall include the value of all construction work necessary to accomplish the plan, as well as all finish work, painting, roofing, electrical, plumbing, heating, air conditioning, elevators, fire extinguishing systems and any other permanent equipment. The value shall also include the cost of future inspections by the Building Official to determine if the plan is being or has been met.

2. Upon completion of the plan improvements, the Building Official shall certify to the City Recorder that all improvements have been made. Upon such certification, the City Recorder shall remove the lien on the property from the lien docket.
 3. Upon partial completion of the plan improvements, the Building Official, when requested by the property owner or plan permittee, shall certify to the City Recorder that plan improvements have been partially made. The certification shall state the value of improvements yet to be made and the City Recorder shall amend the lien docket to reflect such value.
 4. If the plan is not completed according to its terms, the City may proceed to foreclose the lien in the manner provided by the general law in the State of Oregon for the collection of real property liens. No foreclosure suit shall be filed, however, unless the property owner is first given thirty (30) days' written notice specifying the nature of the incompleteness and an opportunity for the owner to complete the plan within such thirty (30) day period.
- C. The plan applicant may provide adequate security in a sum equal to the value of the improvements required in the plan to secure performance of the plan in lieu of the lien described in subsection [B](#) of this section. Adequate security includes but is not limited to a surety bond furnished by a surety company authorized to do business in Oregon or an irrevocable letter of credit from a bank doing business in Oregon or such other security as may be approved by the Director of Finance. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.04.115 Conversion to For-Purchase Housing

Structures being converted from multiple-family rental unit use to for-purchase housing in multifamily zones shall conform to Oregon Structural Specialty Code Chapter 34, Existing Structures, including but not limited to structural, mechanical, plumbing, and fire/life safety in effect at the time of conversion, and a building permit shall be obtained for such conversion. Specifically, it shall be unlawful for the owner or his agent of multifamily residential units to convert said units and common areas to condominium ownership without prior approval of the Building Official. Review of components identified in Oregon Structural Specialty Code Chapter 34, Existing Structures, shall precede such approval. Owner shall notify tenants that the City Building Division may be performing inspections of units and request entry for such purpose. After completion of the review, a report of items to be brought into compliance, if any, will be provided to the owner or his agent by the Ashland Building Official. Any and all corrective measures and related construction permits with approved final inspections shall be completed prior to sale of units identified in the report. Physical improvement or rehabilitation of units and common areas are subject to the limitations of ORS [100.315](#). Conversion is also subject to requirements of AMC [10.115](#). The fee schedule for the conversion review shall be established by resolution of the City Council. (Ord. 3238, amended, 06/18/2024; Ord. 3043, amended, 12/21/2010; Ord. 2938, amended, 05/01/2007; Ord. 2925, amended, 04/18/2006)

15.04.185 Heat Pumps and Mechanical Devices

A. *Permit Requirement.* No person shall install a commercial or residential heat pump, air conditioning unit, or similar mechanical device prior to submitting a permit application to the Building Official and receiving approval. (Ord. 3238, amended, 06/18/2024; Ord. 3038, amended, 11/07/2010; Ord. 2925, amended, 04/18/2006)

15.04.190 Underground Utilities

A. *Underground Utilities Required.* In conjunction with the issuance of a building permit for a new electrical service, all on-site utility lines, including but not limited to electric, communications, and cable television, shall be installed underground. For the purpose of this section, appurtenances and associated equipment such as, but not limited to, surface-mounted terminal boxes and meter cabinets, and terminations for concealed ducts in an underground system, may be placed above ground.

B. *Underground Utilities – Exceptions.* Underground utilities need not be installed in the following instances:

1. Any replacement or relocation of a service on a lot when it does not necessitate any increase in the number of existing overhead lines and/or utility poles;
2. Any increase in service size if no additional overhead lines and/or utility poles are required; or
3. Single-family dwellings, when utility poles exist along property lines, or abutting streets, except for underground facilities required by AMC 18.80.060; provided, that a service panel and stubbed conduit shall be installed to convert to underground utilities at a future date.

C. *Underground Utilities – Cost.* The applicant for service shall be responsible for all trenching and backfilling, and shall pay to the City the connection fees specified in AMC [14.16.030](#).

D. *Underground Utilities – Rules and Regulations.* The City Council may, by resolution, adopt rules and regulations governing the installation and allocation of costs for underground utility extensions as a condition of building permit issuance. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2148 § 1, amended, 1981; Ord. 2052 § 7, amended, 1979)

15.04.192 Location of Electric Meters

In conjunction with the construction of new residential structures, electric meter bases shall be installed on the side of the structure, nearest the City's service point and nearest the front of the structure as practicable, unless an alternate location is approved by the Director of Electric Utilities. On corner lots, the meter base may be located on the rear of the structure, nearest the City's service point and nearest the side street as practicable. No meter installation shall cause service entrance conductors to enter a structure without a service disconnecting means at the closest point of entry as described in the National Electrical Code Article 230-70. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2712 § 4, amended, 1993; Ord. 2282 § 1, amended, 1983)

15.04.200 Board of Appeals - Appeal Process

A. *Appeal Procedure.*

1. Any:
 - a. Final decision relating to the suitability of alternate materials and methods of construction; or
 - b. Final decision of the Demolition Review Committee; or
 - c. An interpretation or final decision by the Building Official, including the imposition of administrative penalties, with regard to the City of Ashland Building Code may be appealed to the Building Board of Appeals in conformance with procedures provided in the applicable section of the building code. Appeals shall be filed in the City administration offices by the deadline.
2. The notice of appeal shall state all of the following:
 - a. The name and address of the appellant;
 - b. The specific code provision or rule being appealed;
 - c. The reason the Building Official's determination is incorrect; and
 - d. The appellant's desired outcome on appeal.

An appeal shall include the applicable appeal fee or deposit as applicable. Failure to strictly comply with the applicable appeal requirements, including but not limited to time for filing and payment of the applicable appeal fee, if any, shall be a jurisdictional defect and shall subject the appeal to summary dismissal in accordance with subsection [B](#) of this section. When the specific applicable code does not contain an appeal timeframe, the time to appeal a decision (including administrative penalty) or interpretation shall be fifteen (15) days, unless an order to vacate has been posted, in which case it shall be within ten (10) days. The Board of Appeals may charge an unsuccessful appellant the cost of the appeal, including the cost of a Hearing Officer, if the Board makes findings that the appeal is frivolous and either finds against the appellant after a hearing or dismisses the appeal. Failure to pay the costs within sixty (60) days of receipt of said billing shall result in a lien on the appellant's property.

B. *Scheduling.* The Building Official shall schedule a meeting of the Board within thirty (30) working days of the filing of the appeal. The Board of Appeals shall determine at this meeting whether to grant a hearing or dismiss the appeal. The appeal shall be dismissed if the Board finds that the appeal does not meet the criteria in subsection [A](#) of this section. If the appeal is dismissed, the Building Official's decision is final. The hearing shall be held as soon as reasonable, after the Board meeting. The decision and findings shall be mailed to all persons who appeared before the Board. The Administrator of the State Building Codes Division shall be furnished copies of decisions interpreting State building code requirements.

C. *Qualification Requirements for Members of the Board of Appeals.* The Board of Appeals shall consist of five (5) individuals, one (1) from each of the following professions or disciplines:

1. Registered design professional with architectural experience or a builder or superintendent of building construction with at least ten (10) years' experience, five (5) of which shall have been in responsible charge of work.
2. Registered design professional with structural engineering experience.
3. Registered design professional with mechanical and plumbing engineering experience or a mechanical or plumbing contractor with at least ten (10) years' experience.
4. Registered design professional with electrical engineering experience or an electrical contractor with at least ten (10) years' experience.
5. Registered design professional with fire protection experience or a contractor or superintendent with at least ten (10) years' experience and can demonstrate a general knowledge of fire protection requirements.

The Building Official shall have the authority to waive some of the stated qualification requirements for members of the Board of Appeals when, in the Building Official's professional opinion, the individual has adequate knowledge and experience to fill the seat as a board member for a specific profession or discipline. (Ord. 3238, amended, 06/18/2024; Ord. 3003, amended, 02/18/2010; Ord. 2925, amended, 04/18/2006; Ord. 2878, amended, 12/04/2001)

15.04.205 Dangerous Buildings

A. *Purpose.* It is the purpose of this section to provide a just, equitable and practicable method, to be cumulative with and in addition to any other remedy provided by these codified ordinances or otherwise available by law, whereby buildings or structures which endanger the life, limb, health, property, safety or welfare of the general public or their occupants may be required to be repaired, vacated or demolished. The purpose of this section is not to create or otherwise establish or designate any particular class or group of persons who will or should be especially protected, benefited, or targeted by the terms of this section.

B. *Dangerous Building Defined.* For the purpose of this section, any building or structure which has any or all of the conditions or defects hereinafter described shall be deemed to be a "dangerous building"; provided, that such conditions or defects endanger the life, health, property or safety of its occupants or the public.

1. Whenever any door, aisle, passageway, stairway or other means of exit is not of sufficient width or size or is not so arranged as to provide safe and adequate means of exit in case of fire or panic.
2. Whenever the walking surface of any aisle, stairway or other means of exit is so warped, worn, loose, torn or otherwise unsafe as to not provide safe and adequate means of exit in case of fire or panic.
3. Whenever the stress in any materials, member or portion thereof, due to all dead and live loads, is more than one and one-half (1 1/2) times the working stress or stresses allowed in the Oregon State Structural Specialty Code ("OSSC") for new buildings of similar structure, purpose or location.

4. Whenever any portion thereof has been damaged by fire, earthquake, wind, flood, or by any other cause, to such an extent that the structural strength or stability thereof is materially less than it was before such catastrophe and is less than the minimum requirements of the OSSC for new buildings of similar structure, purpose or location.
5. Whenever any portion or member or appurtenance thereof is likely to fail, or to become detached or dislodged, or to collapse and thereby injure persons or damage property.
6. Whenever any portion of a building, or any member, appurtenance or ornamentation on the exterior thereof is not of sufficient strength or stability, or is not so anchored, attached or fastened in place so as to be capable of resisting a wind pressure of one-half (1/2) of that specified in the OSSC for new buildings of similar structure, purpose or location without exceeding the work stresses permitted in the OSSC for such buildings.
7. Whenever any portion thereof has wracked, warped, buckled or settled to such an extent that walls or other structural portions have materially less resistance to winds or earthquakes than is required in the case of similar new construction.
8. Whenever the building or structure, or any portion thereof, because of:
 - a. Dilapidation, deterioration or decay;
 - b. Faulty construction;
 - c. The removal, movement or instability of any portion of the ground necessary for the purpose of supporting such building;
 - d. The deterioration, decay or inadequacy of its foundation; or
 - e. Any other cause, is likely to partially or completely collapse.
9. Whenever, for any reason, the building or structure, or portion thereof, is manifestly unsafe for the purpose for which it is being used.
10. Whenever the exterior walls or other vertical structural members list, lean or buckle to such an extent that a plumb line passing through the center of gravity does not fall inside the middle one-third (1/3) of the base.
11. Whenever the building or structure, exclusive of the foundation, shows thirty-three (33) percent or more damage or deterioration of its supporting member or members, or fifty (50) percent damage or deterioration of its nonsupporting members, enclosing or outside walls or coverings.
12. Whenever the building or structure has been so damaged, or has become so dilapidated or deteriorated, or has been vacated and unsecured as to become:
 - a. An attractive nuisance to children;
 - b. A harbor for squatters or criminal activity; or as to

- c. Enable persons to resort thereto for the purpose of committing unlawful acts.

13. Whenever any building or structure has been constructed, exists or is maintained in violation of any specific requirement or prohibition applicable to such building or structure provided by the building regulations of this jurisdiction, as specified in the OSSC, or of any law or ordinance of this State or jurisdiction relating to the condition, location or structure of buildings.

14. Whenever any building or structure which, whether or not erected in accordance with all applicable laws and ordinances, has, in any nonsupporting part, member or portion less than fifty percent (50%), or in any supporting part, member or portion less than sixty-six percent (66%) of the:

- a. Strength;
- b. Fire-resisting qualities or characteristics; or
- c. Weather-resisting qualities or characteristics required by law in the case of a newly constructed building of like area, height and occupancy in the same location.

15. Whenever a building or structure, used or intended to be used for dwelling purposes, because of inadequate maintenance, dilapidation, decay, damage, faulty construction or arrangement, inadequate light, air or sanitation facilities, or otherwise, is determined by the County's Health and Human Services Department, the Oregon Department of Environmental Quality, or the Building Official to be unsanitary, unfit for human habitation or in such a condition that is likely to cause sickness or disease.

16. Whenever any building or structure, because of obsolescence, dilapidated condition, deterioration, damage, inadequate exits, lack of sufficient fire-resistant construction, faulty or inadequate electric wiring or equipment, gas connections or heating apparatus, chimneys or other cause, is determined by a fire marshal, fire district, or Building Official to be a fire hazard.

17. Whenever any portion of a building or structure remains on a site after the demolition or destruction of the building or structure or whenever any building or structure is abandoned and unsecured for a period in excess of six (6) months so as to constitute such building or portion thereof an attractive nuisance or hazard to the public.

C. *Enforcement and Interpretation.*

1. The Building Official and the Building Official's designees are authorized to enforce the provisions of this section. Subject to the procedures provided in this section for review by the Municipal Judge or Hearings Officers, and on appeal by any court, the Building Official shall have the power to render interpretations of this section and adopt and enforce policies in order to carry out its provisions.

D. *Right of Entry – Inspection Warrants.*

1. *Right of Entry.* The Building Official may enter property, including the interior of structures, at all reasonable times whenever an inspection is necessary to enforce any building regulations, or whenever the Director has reasonable cause to believe that there exists in any structure or upon any property any condition

which makes such property substandard as defined in any building regulations. In the case of entry into areas of property that are plainly enclosed to create privacy and prevent access by unauthorized persons, the following steps shall be taken:

- a. *Occupied Property.* If any structure on the property is occupied, the Building Official shall first present proper credentials and request entry. If entry is refused, the Building Official may attempt to obtain entry by obtaining an inspection warrant.
- b. *Unoccupied Property.* If the property is unoccupied, the Building Official shall contact the property owner, or other persons having charge or control of the property, and request entry. If entry is refused or if the Building Official is unable to locate the owner, the Building Official may attempt to obtain entry by obtaining an inspection warrant.
- c. *Hazardous Properties.* If the Building Official or Fire Marshal (or their designees) believe a hazardous condition exists that has immediate and exigent health and safety consequences for the public, City officials may, upon properly identifying themselves, enter the property for the sole purpose to secure, remedy, and abate the immediate hazardous condition.

- (1) Following the abatement, the Building Official shall notify the owner, or other persons having charge or control of the property, of the emergency abatement and follow any fee assessments according to AMC [2.31.040](#).

- (2) Entry for hazardous properties should be for the sole purpose to remedy the immediate and exigent circumstances of the hazardous condition. Further investigation of a building complaint will necessitate either consent of the occupant or owner, or an inspection warrant.

2. *Grounds for Issuance of Inspection Warrants – Affidavit.*

- a. *Affidavit.* An inspection warrant shall be issued by either the Municipal Judge or the Hearings Officer, or by a court of competent jurisdiction, only upon cause, supported by affidavit, particularly describing the applicant's status in applying for the warrant, the statute, ordinance or regulation requiring or authorizing the inspection or investigation, the property to be inspected or investigated and the purpose for which the inspection or investigation is to be made including the basis upon which cause exists to inspect. In addition, the affidavit shall contain either a statement that entry has been sought and refused, or facts or circumstances reasonably showing that the purposes of the inspection or investigation might be frustrated if entry were sought without an inspection warrant.

- b. *Cause.* Cause shall be deemed to exist if reasonable legislative or administrative standards for conducting a routine, periodic or area inspection are satisfied with respect to any building or upon any property, or there is probable cause to believe that a condition of nonconformity with any building regulation exists with respect to the designated property, or an investigation is reasonably believed to be necessary in order to discover or verify the condition of the property for conformity with building regulations.

c. *Issuance.* If the Municipal Judge or Hearings Officer is satisfied that cause for the inspection or investigation exists and that the other requirements for granting the application are satisfied, the Municipal Judge or Hearings Officer shall issue the warrant, particularly describing the person or persons authorized to execute the warrant, the property to be entered and the purpose of the inspection or investigation. The warrant shall contain a direction that it be executed on any day of the week between the hours of 8:00 a.m. and 6:00 p.m. or, where the Municipal Judge or Hearings Officer has specially determined upon a showing that it cannot be effectively executed between those hours, that it be executed at any additional or other time of the day or night.

d. *Police Assistance.* In issuing an inspection warrant on unoccupied property, including abatement warrants, the Municipal Judge or Hearings Officer may authorize any peace officer, as defined in Oregon Revised Statutes, to enter the described property to remove any person or obstacle and assist the Building Official or representative of the department inspecting the property in any way necessary to complete the inspection.

3. *Execution of Inspection Warrants.*

a. *Execution of the Warrant.* In executing an inspection warrant, the person authorized to execute the warrant shall, before entry into the occupied premises, make a reasonable effort to present the person's credentials, authority and purpose to an occupant or person in possession of the property designated in the warrant and show the occupant or person in possession of the property the warrant or a copy thereof upon request.

b. *Return.* An inspection warrant must be executed within ten (10) working days of its issue and returned to the Municipal Judge or Hearings Officer by whom it was issued within ten (10) working days from its date of execution. After the expiration of the time prescribed by this subsection, the warrant unless executed is void.

E. *Dangerous Building Declared Violation and Nuisance Subject to Abatement.*

1. It shall be a violation for any person to erect, construct, enlarge, alter, repair, move, improve, convert, equip, use, occupy, or maintain a dangerous building or cause or permit the same to be done without obtaining a permit to do so.

2. All buildings or portions thereof which are determined after inspection by the Building Official to be dangerous as defined in this section are hereby declared to be public nuisances and shall be abated by repair, rehabilitation, demolition, or removal in accordance with the procedures specified in this section.

F. *Notice, Citation, and Order to Immediately Vacate.*

1. All notices for a violation of this section shall be issued in accordance with AMC [15.04.250](#) and shall be served on the owner of the building in accordance with AMC [15.04.260](#). A copy of the notice described in subsection [F.2](#) of this section shall be attached to the citation.

2. In addition to a citation served in accordance with subsections [F.1](#) and [F.3](#) of this section, the Building Official shall cause a notice to be posted in a conspicuous location on the building or structure that contains:
 - a. A statement that the Building Official has found the building to be a dangerous building with a brief and concise description of the conditions found to render the building dangerous.
 - b. The information required to be placed in citations by AMC [15.04.260.B](#).
 - c. A statement that the building or structure must be immediately vacated and secured against entry immediately and that it is a Class A violation to enter or occupy the building if the Building Official makes such a determination in accordance with this subsection [F](#).
 - d. A statement that the building or structure may be demolished or removed if the Building Official has made such a determination in accordance with this subsection [F](#).
3. A citation for a violation of this section shall be served on all persons with a recorded interest in the real property, as reflected in the County's Recording Office records, if the Building Official has determined that the building or structure should be demolished or removed. Such service shall be provided in accordance with AMC [15.04.250](#) and [15.04.260](#).

G. *Order to Immediately Vacate Dangerous Building – Order to Demolish or Remove Building.*

1. If, due to the condition of the building or structure, the Building Official determines that occupation or entry into a dangerous building constitutes an immediate threat to the life, limb, or safety of an individual, the Building Official may order that the building be immediately vacated and secured against entry. Such an order shall remain in place until the building has received a certificate of occupancy or until the Municipal Judge or a Hearings Officer has dissolved such an order.
2. If the Building Official has determined that a dangerous building should be immediately vacated and secured against entry and has posted notice in accordance with subsection [F.2.c](#) of this section, it shall be a Class A violation for any person to enter the building except for an individual licensed to engage in the work necessary to remediate the dangerous condition(s). It shall be a Class A violation for any person to remove or destroy the notice posted in accordance with subsection [F.2.c](#) of this section until the building has been demolished, removed, or a certificate of occupancy has been issued for the building.
3. If, due to the condition of the building or structure, the Building Official determines that the existence of the building constitutes an immediate threat to human life, limb, safety, or health, or if the building constitutes an immediate threat to adjacent property, the Building Official may order that the building be demolished or removed in a time period not longer than sixty (60) days from the date of citation and posting of notice in accordance with subsection [F.2.c](#) of this section.

H. *Hearings Procedure and Penalties.*

1. Except as provided in this section, all hearings on citations for violations of subsection [D](#) of this section shall be conducted before the Municipal Court or a Hearings Officer in accordance with the procedures set forth in AMC [2.30.020](#) and [15.04.200](#).

2. If the Building Official has determined that the building should be immediately vacated in accordance with subsection [F.1](#) of this section or demolished or removed in accordance with subsection [F.3](#) of this section, any person provided with service of the citation or notice may request that a hearing take place on a date sooner than the time set for a hearing on the citation and notice. Upon such a request, the hearing shall take place as soon as practicable.
3. In addition to the penalties provided for in AMC [15.04.260](#), upon a finding by the Municipal Judge or a Hearings Officer that the building is dangerous, the Municipal Judge or Hearings Officer must order that the dangerous building be remediated within a reasonable time. Unless the Judge or Hearings Officer orders that the dangerous building be demolished or removed upon a finding upholding the Building Official's determination under subsection [F.3](#) of this section, a dangerous building may be remediated by repair, rehabilitation, demolition, removal, or by vacating and securing the building against entry. If the Municipal Judge or Hearings Officer orders that the dangerous building be demolished or removed, the Judge or Hearings Officer must explain the basis for the determination. If the Building Official has ordered that the dangerous building be immediately vacated in accordance with subsection [F.1](#) of this section, the Municipal Judge or Hearings Officer must make written findings upholding or dissolving such an order.
4. If a dangerous building remains unremediated following the expiration of the time set for remediation by the Municipal Judge or Hearings Officer, the defendant may be cited for a continuing violation and the Building Official may remediate the building without further hearing and the actual costs of such remediation shall be charged to the building's owner(s) and may become a lien against the subject property.
5. Nothing in this section should be construed to eliminate the need for any permit(s) required to remediate a dangerous building. (Ord. 3238, added, 06/18/2024)

15.04.210 Demolition or Relocation of Structures

A. For purposes of AMC [15.04.210](#) through [15.04.216](#), the following terms, phrases, words and their derivations mean:

1. *Demolition.* To raze, destroy, dismantle, or any act or process that may cause partial or total destruction of a structure where less than sixty (60) percent of the structure's external walls will be retained in place; or where less than a majority of the facade will remain.
2. *Facade.* The front or principal face(s) of a building, excluding an attached garage of a residential structure, sometimes distinguished from the other faces by elaboration of architectural or ornamental details and often serving as the primary entrance.

B. Except as provided in subsection [D](#) of this section, a permit is required before any structure, or part of a structure as defined in subsection [A.1](#) of this section, can be demolished or relocated. The permit fees for demolition or relocation of a structure will be set by resolution of the Council.

C. No demolition or relocation permit is required:

1. For structures of less than 500 square feet in size.
2. For relocation of a structure upon the same lot.
3. To demolish a building declared to be dangerous under the Uniform Code for the Abatement of Dangerous Buildings pursuant to AMC [15.04.010.B](#).

D. In addition to the enforcement provisions of this title, the City Attorney may or, upon order of the City Council, shall immediately commence action or proceedings for the prevention of the demolition or relocation of a structure in the manner provided by law, and may take such other steps and apply to such courts as may have jurisdiction to grant such relief as will prevent the demolition, moving, removal, or damage to a building or structure, or using property contrary to the provisions of this title. The remedies provided for in this section shall be cumulative and not exclusive.

1. For any demolition or relocation in violation of AMC [15.04.210](#) through [15.04.216](#), the court shall also have the authority to order the person convicted of the violation to rebuild or restore the structure to its appearance prior to the demolition or to move and restore the building to its original site.
2. For any flagrant violation, the court may impose a fine up to and including the assessed market value of the structure demolished or relocated. A flagrant violation is an act by a person who, after being notified of a violation, intentionally continues it. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2858, amended, 06/20/2000)

15.04.212 Demolition Review Committee

The Demolition Review Committee shall be the same as the Board of Appeals as established in AMC [15.04.200](#). (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2878, amended, 12/04/2001; Ord. 2866, amended, 02/06/2001; Ord. 2858, amended, 06/20/2000; Ord. 2852, added, 01/21/2000)

15.04.214 Approval Process

Applications for demolition or relocation permits will be processed as follows:

- A. A complete application must be submitted to the Building Official and must include all of the required information for the specific action requested. The application must be signed by one (1) or more property owners of the property where the structure is located. The application must be accompanied by the appropriate application fee.
- B. Within fourteen (14) days after receipt of a complete application, the Building Official will approve, approve with conditions, or deny the application unless such time limitation is extended with the consent of the applicant. Notice of the decision of the Building Official will be mailed to the applicant within seven (7) days of the decision.

- C. If the application is approved, or if the application is denied and the applicant desires a hearing before the Demolition Review Committee, the applicant must post and publish a notice of the decision. The notice must be posted on the property in such a manner as to be clearly visible from a public right-of-way and be posted within five (5) business days of the date the applicant received the decision. In addition, the notice must be published in a newspaper of general circulation within the City at least seven (7) days prior to the date requests for hearing must be filed.
- D. The applicant or any person may request a hearing before the Demolition Review Committee by filing a request for a hearing with the Building Official. The request for a hearing must:
1. Be in writing and be filed within ten (10) days of the date of the decision, if the request is by the applicant. Otherwise the request must be filed within ten (10) days of the date the notice is posted or seven (7) days after the notice is published, whichever date is later.
 2. Contain the specific grounds for which the decision should be reversed or modified, based on the applicable demolition or relocation standards.
- E. The following information is required to be contained in the notices required by this section:
1. Notice of the decision by the Building Official described in subsection [B](#) of this section is to contain the following information:
 - a. The decision of the Building Official and the date of the decision.
 - b. The requirements of the applicant for posting and publishing notice of the decision.
 - c. A statement that no hearing will be held before the Demolition Review Committee unless specifically requested.
 - d. A statement that a request for a hearing by the applicant must be made within ten (10) days of the date the applicant received the decision and that a request for a hearing must include:
 - (1) The name and address of the applicant;
 - (2) The file number of the demolition or relocation application; and
 - (3) The specific grounds for which the decision should be reversed or modified, based on the applicable demolition or relocation standards.
 2. The posted and published notices described in subsection [C](#) of this section must contain:
 - a. A brief description of the approval and the application file number;
 - b. The phone number and address of the Building Official;
 - c. The date the notice was posted; and

d. A statement that anyone who objects to the approval must file a request for a hearing, on a form furnished by the Building Official, by a date not more than ten (10) days from the date the notice was posted or seven days from the date the notice was published in the newspaper, whichever date is later.

F. If a request for a hearing is timely received, the Demolition Review Committee will conduct a hearing at least fifteen (15) days, but not more than thirty (30) days, from the date of the request.

G. Notice for hearings before the Demolition Review Committee will be published in a daily newspaper of general circulation within the City at least ten (10) days prior to the hearing and mailed to the applicant or authorized agent at least ten (10) days prior to the hearing. In addition, a notice must be posted on the property by the applicant in such a manner as to be clearly visible from a public right-of-way at least ten (10) days prior to the date of the hearing. The applicant must certify, for the record of the hearing, that the posting was accomplished. The posted notice must contain a brief description of the proposal, the time, date and place of the hearing, and the phone number and address for contact with the Building Official.

H. Within fifteen (15) days of the hearing, or within fifteen (15) days of the receipt of the report described in [AMC 15.04.216.A.1](#) is received, whichever date is later, the Demolition Review Committee shall issue its decision in writing and mail it to the applicant and all persons who appeared and spoke at the hearing.

I. The decision of the Demolition Review Committee may be appealed to the City Council by the applicant or someone who spoke at the hearing. In addition, the City Council may review the decision on its own motion. The decision is appealed by filing a notice of appeal with the City Manager. The appeal fee, as set by resolution of the City Council, must accompany the notice of appeal. The appeal must be filed within fifteen (15) days of the date the decision of the committee is mailed. The appeal notice must contain:

1. The appellant's name and address;
2. A reference to the decision sought to be reviewed;
3. A statement that the appellant is the applicant or someone who appeared and testified at the hearing;
4. The date of the decision being appealed; and
5. The specific grounds for which the decision should be reversed or modified, based on the applicable standards.

J. The notice of appeal, together with notice of the date, time and place of the hearing on the appeal by the Council, will be mailed to those who appeared at the hearing before the Demolition Review Committee at least twenty (20) days prior to the hearing. The appeal before the Council shall be a de novo hearing based solely on the evidence in the record made before the Demolition Review Board. The applicant shall have the burden to prove the standards have been met. The Council may affirm, reverse or modify the decision and may approve or deny the request, or grant approval with conditions. The City Council shall make findings and conclusions, and make a decision based on the record before it as justification for its action. The City Council shall cause copies of a final order to be sent to all persons participating in the appeal. (Ord. 3238, amended, 06/18/2024; Ord. 3192 § 114,

amended, 11/17/2020; Ord. 2925, amended, 04/18/2006; Ord. 2858, amended, 06/20/2000; Ord. 2852, added, 01/21/2000)

15.04.216 Demolition and Relocation Standards

A. For demolition or relocation of structures erected more than forty-five (45) years prior to the date of the application:

1. The applicant must demonstrate that either subsection [A.1.a](#) or [A.1.b](#) of this section applies:
 - a. The structure cannot be rehabilitated or reused on site as part of any economically beneficial use of the property. In determining whether an economically beneficial use can be made of the property, the Demolition Review Committee may require the applicant to:
 - (1) Furnish an economic feasibility report prepared by an architect, developer, or appraiser, or other person who is experienced in rehabilitation of buildings that addresses the estimated market value of the property on which the building lies, both before and after demolition or removal; or
 - (2) Market the property utilizing a marketing plan approved by the Demolition Review Committee or by advertising the property in the Ashland Daily Tidings or Medford Mail Tribune at least eight (8) times and at regular intervals for at least ninety (90) days and by posting a for sale sign on the property, four (4) to six (6) square feet in size and clearly visible from the street, for the same ninety (90) day period.
 - b. The structure proposed for demolition is structurally unsound despite efforts by the owner to properly maintain the structure.
2. In addition to subsection [A.1.a](#) or [A.1.b](#) of this section, the applicant must also:
 - a. Submit a redevelopment plan for the site that provides for a replacement or rebuilt structure for the structure being demolished or relocated. The replacement or rebuilt structure must be a minimum of 1,000 square feet, unless the structure being demolished or relocated is less than 1,000 square feet. If the structure is less than 1,000 square feet, the replacement structure must be a minimum of 500 square feet. The redevelopment plan must indicate in sufficient detail the nature, appearance and location of all replacement or rebuilt structures. No replacement structure is required, however, if:
 - (1) The applicant agrees to restrict the property to open space uses and a finding is made that such restriction constitutes a greater benefit to the neighborhood than redevelopment would; or
 - (2) The structure being demolished or relocated is a nonhabitable accessory structure.
 - b. Demonstrate, if the application is for a demolition, the structure cannot be practicably relocated to another site.

3. If a permit is issued and the redevelopment plan:
 - a. Requires a site review permit, no demolition or relocation may occur until the site review permit has been issued, unless the site is restricted to open space uses as provided in subsection [A.2](#) of this section.
 - b. Does not require a site review permit, no demolition or relocation may occur until the building permit has been issued for the replacement or rebuilt structure, unless the site is restricted to open space uses as provided in subsection [A.2](#) of this section.
 4. The Demolition Review Committee may require the applicant to post with the City a bond, or other suitable collateral as determined by the City Manager, ensuring the safe demolition of the structure and the completed performance of the redevelopment plan.
- B. For demolition or relocation of structures erected less than forty-five (45) years from the date of the application:
1. The applicant:
 - a. Has the burden of proving the structure was erected less than forty-five (45) years from the date of the application. Any structure erected less than forty-five (45) years from the date of the application, which replaced a structure demolished or relocated under this section, shall be considered a structure subject to the standards in this section.
 - b. Must submit a redevelopment plan for the site that provides for a replacement or rebuilt structure being demolished or relocated. The replacement or rebuilt structure must be a minimum of 1,000 square feet, unless the structure being demolished or relocated is less than 1,000 square feet. If the structure is less than 1,000 square feet, the replacement structure must be a minimum of 500 square feet. The redevelopment plan must indicate in sufficient detail the nature, appearance and location of all replacement or rebuilt structures. No replacement structure is required, however, if:
 - (1) The applicant agrees to restrict the property to open space uses and a finding is made that such restriction constitutes a greater benefit to the neighborhood than redevelopment would; or
 - (2) The structure being demolished or relocated is a nonhabitable accessory structure.
 2. If a permit is issued and the redevelopment plan:
 - a. Requires a site review permit, no demolition or relocation may occur until the site review permit has been issued, unless the site is restricted to open space uses as provided in this subsection B.
 - b. Does not require a site review permit, no demolition or relocation may occur until a building permit has been issued for the structure or structures to be replaced or rebuilt, unless the site is restricted to open space uses as provided in this subsection B.
- C. For any demolition approved under this section, the applicant is required to salvage or recycle construction and demolition debris, in accordance with a demolition debris diversion plan that complies with the requirements

adopted by the Demolition Review Committee. The applicant shall submit such a plan with the application for demolition.

For any relocation approved under this section, the applicant must also comply with the provisions of AMC [15.08](#). (Ord. 3238, amended, 06/18/2024; Ord. 3192 § 115, amended, 11/17/2020; Ord. 2925, amended, 04/18/2006; Ord. 2891, amended, 11/19/2002; Ord. 2858, amended, 06/20/2000; Ord. 2852, added, 01/21/2000)

15.04.220 Mechanical Specialty Code Fee

For application in this City, the fee schedule for mechanical specialty code fees shall be established by resolution of the City Council. (Ord. 3238, amended, 06/18/2024; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006; Ord. 2896, amended, 06/03/2003)

15.04.240 Certificate of Occupancy

No building for which a permit has been issued shall be occupied nor shall utilities be released until a final inspection has been made and a certificate of occupancy has been issued by the Building Official. Such certificate shall not be issued until all relevant requirements of AMC Title [15](#) have been met and all requirements of the Planning Commission shall have been completed. However, with respect to requirements of the Planning Commission, which shall include but not be limited to variance, conditional use permits, site plans and planned unit developments, the Building Official may, unless otherwise directed by the Planning Commission or City Council, release a temporary certificate of occupancy and a temporary release of utilities before the installation and completion of such requirements, and provided the owner has posted a performance bond satisfactory to the City Manager to ensure the installation of said requirements within a specified time, which time must also be satisfactory to the City Manager. (Ord. 3238, amended, 06/18/2024; Ord. 3192 § 116, amended, 11/17/2020; Ord. 2925, amended, 04/18/2006; Ord. 1923, amended, 1977)

15.04.250 Notice of Noncompliance and Violation

- A. No permit or certificate of any kind shall be issued by the Building Official for a structure or occupancy which would violate any provision of the Ashland Municipal Code.
- B. When it is necessary to obtain compliance with this title, or any violations of provisions administered by the Bureau of Development Services, the Building Official may issue a stop work order requiring that all work, except work directly related to elimination of the violation, be immediately and completely stopped.
 - 1. If a stop work order is issued, activity subject to the order may not resume until such time as the Building Official gives specific approval in writing. The stop work order will be in writing and will include:
 - a. The date the order is issued;

- b. Permit or registration number, where applicable;
 - c. Site address, legal description or project location that is subject to the stop work order;
 - d. A description of violations observed; and
 - e. The conditions under which the work may resume.
2. The stop work order will be posted by the Building Official or designee of the Building Official at a conspicuous location at the site. In addition, a copy of the order will either be personally delivered or sent to the property owner (and any person authorized to act on the owner's behalf, if identified) by regular first-class mail.
 3. It is unlawful for any person to remove, obscure, mutilate or otherwise damage a stop work order.
 4. A stop work order is effective upon posting.
 5. When an emergency condition exists, the Building Official may issue a stop work order orally. The Building Official will then issue a written notice as provided under this subsection B within one (1) working day.
 6. The Building Official may issue a stop work order for work commenced without a required permit.
- C. The Building Official may impose a penalty as set forth in AMC [15.04.260](#) when a stop work order is issued. The stop work order penalty may be assessed daily for each day the violation or condition giving rise to the order continues.
- D. *Review of Stop Work Order by the Building Official.*
1. If a property owner (and any person authorized to act on the owner's behalf) has received a stop work order as described in this section and the property owner (and any person authorized to act on the owner's behalf) believes the order has been issued in error, the property owner (and any person authorized to act on the owner's behalf) may request that the order be reviewed by the Building Official. The property owner (and any person authorized to act on the owner's behalf) must submit a written request to the Building Official within fifteen (15) calendar days of the date of the order. The written request shall be submitted together with all evidence that supports the request. Work subject to a stop work order may not be resumed until approved according to subsection [A](#) of this section. Following review, the Building Official will issue a written determination. The Building Official's determination will be served on the property owner (and any person authorized to act on the owner's behalf) by regular mail.
 2. A property owner (and any person authorized to act on the owner's behalf) may appeal the Building Official's written determination to the Appeals Board in accordance with AMC [15.04.200](#).
- E. Provided written notice and an opportunity to be heard is first given, the Building Official, upon determining that a violation of this chapter exists, shall have authority to file a notice of noncompliance in the Jackson County Records office upon any property which contains a structure or is occupied in violation of this chapter.

F. The notice of noncompliance shall specify the owner of the property as reflected in the Jackson County Records office, the property description, the date and brief description of the violation and the citation to this chapter section.

G. Whenever the violation for which the notice of noncompliance was filed is corrected, the Building Official shall, upon payment of the recording fee for the notice of non-compliance and the recording fee for the notice of correction, immediately file a notice of correction. The notice of correction shall reference the notice of noncompliance and specify that the violation has been corrected. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2685, amended, 1992)

15.04.260 Violation Administration Penalty

A. It shall be unlawful for any person, firm or corporation to erect, construct, enlarge, alter, repair, move, improve, remove, convert or demolish, equip, use, occupy or maintain any building or structure in the City or cause the same to be done contrary to or in violation of any of the provisions of this title.

B. The Building Official and his/her designee are specifically authorized to impose a civil penalty for any violation of the Building Code, including an order of the Building Official to remedy such violation. The civil penalty shall be served in a "notice and order imposing the civil penalty" for the violation. The notice shall:

1. Describe the alleged violation, including any relevant code provision numbers, ordinance numbers or other identified references; and
2. State that the City of Ashland intends to assess a civil penalty for the violation and state the amount of the civil penalty; and
3. State that the party may challenge the civil penalty by filing a notice of appeal to the Building Board of Appeals within fifteen (15) days of service of the notice as provided in this title.

C. The civil penalty may not exceed the maximum civil penalty amount authorized for an equivalent specialty code violation under ORS [455.895](#) subject to the limitations in the Ashland City Charter. Any person, firm or corporation violating any of the provisions of this title shall be deemed guilty of an offense and each such person shall be deemed guilty of a separate offense on each and every day or portion thereof during which any violation of any of the provisions of this chapter is committed, continued or permitted and upon conviction of any such violation. The civil penalties provided herein are in addition to and not in lieu of any other remedy for enforcement available to the City including but not limited to increased permit or investigative fees, injunctive relief or any other remedy.

D. *Unpaid Penalties.*

1. Failure to pay an administrative penalty imposed pursuant to this code within thirty (30) days after the penalty becomes final shall constitute a Class I violation of this code.

2. If an administrative civil penalty is imposed on a responsible person because of a violation of any provision of this code resulting from prohibited use or activity on real property, and the penalty remains unpaid thirty (30) days after such penalty become final, the Building Official shall assess against the property the full amount of the unpaid fine and shall enter such an assessment as a lien in the docket of City liens.

3. In addition, failure to pay an administrative civil penalty imposed pursuant to this code shall be grounds for withholding issuance of requested permits or licenses, issuance of a stop work order, as well as revocation or suspension of any issued permits or certificates of occupancy. (Ord. 3238, amended, 06/18/2024; Ord. 3043, amended, 12/21/2010; Ord. 3003, added, 02/18/2010)

Chapter 15.06

SOLID FUEL BURNING DEVICE REGULATIONS

Sections:

- 15.06.010** **Definitions**
- 15.06.020** **Installation requirements**
- 15.06.030** **Enforcement and Penalties**

15.06.010 **Definitions**

As used in this Chapter, the following words shall have the meanings indicated:

- A. “Solid fuel burning device” means a device designed for solid fuel combustion so that usable heat is derived for the interior of a building, and includes, without limitation, solid fuel burning stoves, fireplace inserts, woodstoves of any nature, or pellet stoves used for space heating which can burn solid fuel. Unmodified fireplaces and solid fuel burning devices not subject to DEQ certification are excluded from this definition.
- B. “Certified stove” means a solid fuel burning device certified by DEQ as meeting the 1988 particulate emission standards for certified woodstoves specified in Oregon Administrative Rules 340-21-115. (Ord. 2925, amended, 04/18/2006)

15.06.020 **Installation requirements**

It shall be unlawful to install any solid fuel burning device which is not a “certified stove” as defined in this chapter. (Ord. 2925, amended, 04/18/2006)

15.06.030 Enforcement and Penalties

In addition to those remedies otherwise provided under Section [1.08.020](#) of the Ashland Municipal Code, any person who violates any provision of this Chapter is subject to and is subject to Section [15.04.260](#) of the Ashland Municipal Code. (Ord. 3137, amended, 2017; Ord. 2925, amended, 04/18/2006; Ord. 2552, amended, 1990)

Chapter 15.08 MOVING OF BUILDINGS

Sections:

- [15.08.010](#) **Permit for Moving Building**
- [15.08.030](#) **Fees**
- [15.08.060](#) **Permit Requirements for Moved Buildings**
- [15.08.080](#) **Bond Required**
- [15.08.090](#) **Damages to City Property**
- [15.08.100](#) **Penalty**

15.08.010 Permit for Moving Building

No person shall move a building on the streets or alleys of the City without first obtaining a permit from the Building Official, or an authorized designee. Approval must also be obtained according to Section [15.04.210](#) and Chapter [13.16](#) of the Ashland Municipal Code. (Ord. 2925, amended, 04/18/2006)

15.08.030 Fees

The applicant shall, upon filing the application, pay to the City the moving permit fee in the amount set by Section [15.04.210](#) of the Ashland Municipal Code. This fee covers the use of City streets only and is not to cover costs for other services such as police or other escort services, posting of "No Parking" signs, traffic rerouting, tree trimming, moving, lifting, relocating, or otherwise protecting City owned utilities, or for protecting, moving or relocating privately owned vehicles or other private property. Separate charges for such services shall be determined by the affected department or agency and paid by the building mover. (Ord. 2925, amended, 04/18/2006)

15.08.060 Permit Requirements for Moved Buildings

No person shall move any building to a lot or store any building on a lot in any zoning district within the City, other than an industrial zoning district, unless the owner of the building first obtains all necessary permits and pays all required fees to move the building, constructs a foundation and places the building on a foundation on that lot. Necessary permits and fees shall include but not be limited to moving permit, zone change, site plan and architectural commission review, system development charges, foundation permit, sewer and water connection permits, specialty code permits and fees and any other permits necessary for construction, addition, remodel or change of occupancy. (Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

15.08.080 Bond Required

Before a permit is granted under Section [15.08.060](#) the Building Official shall require the person to furnish a bond with one or more sureties to the effect that they will indemnify the City for repairs to the streets and alleys or other property of the City, or damage and expense to any person occupying the streets or alleys by virtue of a franchise or otherwise, which results from transportation of a building on the streets or alleys of the City. (Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

15.08.090 Damages to City Property

The house mover shall reimburse the City for any and all damages to electric, water and sewer utility facilities; streets, storm drains, signs, sidewalks, curbs and traffic signals; street lights and appurtenances; bridges, trees and all other City owned facilities. (Ord. 2925, amended, 04/18/2006)

15.08.100 Penalty

In addition to those remedies otherwise provided under Section [1.08.020](#) of the Ashland Municipal Code, any person who violates any provision of this Chapter is subject to and is subject to Section [15.04.260](#) of the Ashland Municipal Code. (Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006; Ord. 3137, amended, 2017)

Chapter 15.10

FLOOD DAMAGE PREVENTION REGULATIONS

Sections:

- 15.10.010 Purpose**
- 15.10.020 Statutory Authority**
- 15.10.030 Findings of Fact**

- 15.10.040 Methods of Reducing Flood Losses**
- 15.10.050 Definitions**
- 15.10.060 General Provisions**
- 15.10.070 Administration**
- 15.10.080 Provisions for Flood Hazard Protection**
- 15.10.090 Variances and Appeals**
- 15.10.100 Penalties**

15.10.010 Purpose

The purpose of this chapter is to promote the public health, safety, and general welfare, and to minimize public and private losses due to flood conditions in specific areas by provisions designed to:

- A. Protect human life and health;
- B. Minimize expenditure of public money on costly flood control projects;
- C. Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the general public;
- D. Minimize prolonged business interruptions;
- E. Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in areas of special flood hazard;
- F. Help maintain a stable tax base by providing for the sound use and development of areas of special flood hazard so as to minimize future flood blight areas;
- G. Ensure that potential buyers are notified that property is in an area of special flood hazard; and
- H. Ensure that those who occupy the areas of special flood hazard assume responsibility for their actions.
- I. Participate in and maintain eligibility for flood insurance and disaster relief. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.10.020 Statutory Authority

The Legislature of the State of Oregon has in Oregon Revised Statutes, Chapter 197, delegated the responsibility to local governments to adopt comprehensive plans and land use regulations designed to promote the public health, safety, and general welfare of its citizenry. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.10.030 Findings of Fact

- A. The flood hazard areas of Ashland are subject to periodic inundation which results in loss of life and property, health and safety hazards, disruptions of commerce and governmental services, extraordinary public expenditures for flood protection and relief, and impairment of the tax base, all of which adversely affect the public health, safety and general welfare.
- B. These flood losses are caused by the cumulative effect of obstructions in areas of special flood hazards which increase flood heights and velocities, and when inadequately anchored, damage uses in other areas. Uses that are inadequately flood-proofed, elevated, or otherwise protected from flood damage also contribute to the flood loss. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.10.040 Methods of Reducing Flood Losses

In order to accomplish its purpose, this chapter includes methods and provisions for:

- A. Restricting or prohibiting uses which are dangerous to health, safety and property due to water or erosion hazards, or which result in damaging increases in erosion or in flood heights or velocities;
- B. Requiring that uses vulnerable to floods, including facilities which serve such uses, be protected against flood damage at the time of initial construction;
- C. Controlling the alteration of natural flood plains, stream channels, and natural protective barriers, which help accommodate or channel floodwaters;
- D. Controlling filling, grading, dredging, and other development which may increase flood damage; and
- E. Preventing or regulating the construction of flood barriers which will unnaturally divert floodwaters or which may increase flood hazards outside of identified flood hazard areas.
- F. Coordinating and supplementing the provisions of the State building code with local land use and development ordinances. (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

15.10.050 Definitions

Unless specifically defined below or elsewhere in this code, words or phrases used in this chapter shall be interpreted as to give them the meaning they have in common usage and to give this chapter its most reasonable application.

- A. "Appeal" means a request for a review of the Building Official's interpretation of any provision of this chapter or a request for a variance.

- B. "Area of shallow flooding" means a designated AO or AH zone on the flood insurance rate map with a one percent (1%) or greater annual chance of flooding to an average depth of one (1) to three (3) feet; clearly defined channel does not exist; the path of flooding is unpredictable and indeterminate; and, velocity flow may be evident. AO is characterized as sheet flow and AH indicates ponding.
- C. "Area of special flood hazard" means the land in the floodplain within a community subject to a one percent (1%) or greater chance of flooding in any given year. Designation on maps always includes the letters A or V. Special flood hazard area is synonymous in meaning and definition with the phrase "area of special flood hazard."
- D. "Base flood" means the flood having a one percent (1%) chance of being equaled or exceeded in any given year. Also referred to as the "100-year flood." Designation on flood maps always includes the letters A or V.
- E. "Base flood elevation (BFE)" means the elevation to which floodwater is anticipated to rise during the base flood.
- F. "Basement," for the purposes of this chapter, means the portion of a structure with its floor sub-grade (below ground level) on all sides, or the definition provided in AMC 18.08.078, whichever is more restrictive.
- G. "Below-grade crawl space" means an enclosed area below the base flood elevation in which the interior grade is not more than two (2) feet below the lowest adjacent exterior grade and the height, measured from the interior grade of the crawlspace to the top of the crawlspace foundation, does not exceed four (4) feet at any point.
- H. "Building code" means the combined specialty codes adopted under ORS [446.062](#), [446.185](#), [447.020\(2\)](#), [455.020\(2\)](#), [455.610](#), [455.680](#), [460.085](#), [460.360](#), [479.730\(1\)](#) or [480.545](#), but not including regulations adopted by the State Fire Marshal pursuant to ORS Chapter [476](#) or ORS [479.015](#) to [479.200](#) and [479.210](#) to [479.220](#).
- I. "Critical facility" means a facility for which even a slight chance of flooding might be too great. Critical facilities include but are not limited to schools, nursing homes, hospitals, police, fire and emergency response installations, installations which produce, use, or store hazardous materials or hazardous waste.
- J. "Development" means any manmade change to improved or unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations located within the area of special flood hazard.
- K. "Enclosure" means enclosed walled in areas below the lowest floor of an elevated building. Enclosures below the base flood elevation (BFE) may only be used for building access, vehicle parking, and storage. Enclosed areas below the lowest floor must be adequately anchored, built using flood-resistant building material, and any utilities or service facilities must be designed and/or located to prevent flood damage.
- L. "Flood or flooding" means:
1. A general and temporary condition of partial or complete inundation of normally dry land areas from:
 - a. The overflow of inland or tidal waters; and/or
 - b. The unusual and rapid accumulation of runoff of surface waters from any source.

- c. Mudslides (i.e., mudflows) which are approximately caused by flooding as defined in subsection [L.1.b](#) of this section and are akin to a river of liquid and flowing mud on the surfaces of normally dry land areas, as when earth is carried by a current of water and deposited along the path of the current.
2. The collapse or subsidence of land along the shore of a lake or other body of water as a result of erosion or undermining caused by waves or currents of water exceeding anticipated cyclical levels or suddenly caused by an unusually high water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as flash flood or an abnormal tidal surge, or by some similarly unusual and unforeseeable event which results in flooding as defined in subsection [L.1.a](#) of this section.
- M. "Flood elevation study," also known as "flood insurance study." See "flood insurance study."
- N. "Flood insurance rate map (FIRM)" means the official map of a community issued by the Federal Insurance Administration delineating the areas of special flood hazards and/or the risk premium zones applicable to the community. A FIRM that has been made available digitally is called a digital flood insurance rate map (DFIRM).
- O. "Flood insurance study (FIS)" means the official report provided by the Federal Insurance Administration that includes flood profiles, the flood boundary - floodway map, and the water surface elevation of the base flood. An examination, evaluation and determination of flood hazards and, if appropriate, corresponding water surface elevations, or an examination, evaluation and determination of mudslide (i.e., mudflow) and/or flood-related erosion hazards.
- P. "Flood-proofing" means any combination of structural and nonstructural additions, changes, or adjustments to structures which reduce or eliminate risk of flood damage to real estate or improved real property, water and sanitary facilities, structures, and their contents.
- Q. "Floodway," also referred to as "regulatory floodway," means that channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than one (1) foot.
- R. "Functionally dependent use" means a use which cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and shipbuilding and ship repair facilities, and does not include long-term storage or related manufacturing facilities.
- S. "Highest adjacent grade" means the highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.
- T. "Historic structure" means any structure that is:
1. Listed individually in the National Register of Historic Places (a listing maintained by the Department of the Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;

2. Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
3. Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or
4. Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either:
 - a. By an approved State program as determined by the Secretary of the Interior; or
 - b. Directly by the Secretary of the Interior in states without approved programs.

U. "Lowest floor" means the lowest floor of the lowest enclosed area (including basement). An unfinished or flood-resistant enclosure, usable solely for parking of vehicles, building access or storage, in an area other than a basement area is not considered a building's lowest floor; provided, that such enclosure is not built so as to render the structure in violation of the applicable nonelevation design requirements of this chapter found in [AMC 15.10.080.B.1.b](#).

V. "Manufactured dwelling" is synonymous with "manufactured home" and does not include a "recreational vehicle."

W. "Manufactured dwelling park or subdivision" means a parcel (or contiguous parcels) of land divided into two (2) or more manufactured dwelling lots for rent or sale.

X. "Manufactured home" means a structure, transportable in one (1) or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. For floodplain management purposes the term "manufactured home" also includes park trailers, travel trailers, and other similar vehicles placed on a site for greater than 180 consecutive days. For insurance purposes the term "manufactured home" does not include park trailers, travel trailers, and other similar vehicles.

Y. "Manufactured home park" or "subdivision" means a parcel (or contiguous parcels) of land divided into two (2) or more manufactured home lots for rent or sale.

Z. "Mean sea level" for purposes of the National Flood Insurance Program means the National Geodetic Vertical Datum (NGVD) of 1929 or other datum, to which base flood elevations shown on a community's flood insurance rate map are referenced.

AA. "New construction" means structures for which the "start of construction" commenced on or after the effective date of this chapter and includes new mobile home parks and mobile home subdivisions.

BB. "Recreational vehicle," as it pertains to the provisions of this chapter, means a vehicle which is:

1. Built on a single chassis;
2. Four hundred (400) square feet or less when measured at the largest horizontal projection;

3. Designed to be self-propelled or permanently towable by a light duty truck; and
4. Designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.

CC. *Special Flood Hazard Area.* See “Area of special flood hazard” for this definition.

DD. “Start of construction” means the date the building permit was issued provided the actual start of construction, repair, reconstruction, placement or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction of a structure on a site, such as the pouring of a slab or footings, the installation of piles, the construction of columns, or any work beyond the stage of excavation; or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading and filling; nor does it include the installation of streets and/or walkways; nor does it include excavation for a permanent basement, footings, piers, or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory erection or temporary forms; nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For a substantial improvement, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

EE. “Structure,” as it pertains to the provisions of this chapter, is a walled and roofed building, including a gas or liquid storage tank that is principally above ground, as well as a manufactured dwelling.

FF. “Substantial damage” means damage of any origin sustained by a structure whereby the cost of restoring the structure to its before-damaged condition would equal or exceed fifty (50) percent of the market value of the structure before the damage occurred.

GG. “Substantial improvement” means any repair, reconstruction, or improvement of a structure, the cost of which equals or exceeds fifty (50) percent of the market value of the structure either:

1. Before the improvement or repair is started; or
2. If the structure has been damaged and is being restored, before the damage occurred. For the purpose of this definition, “substantial improvement” is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include either:
 - a. Any project for improvement of a structure to comply with existing State or local health, sanitary, or safety code specifications which are solely necessary to assure safe living conditions; or
 - b. Any alteration of a structure listed on the National Register of Historic Places or a State Inventory of Historic Places; provided, that the alteration will not preclude the structure’s continued designation as a “historic structure.”

HH. “Variance” means a grant of relief from the requirements of this chapter which permits construction in a manner that would otherwise be prohibited by this chapter.

II. “Violation” means the failure of a structure or other development to be fully compliant with the community’s floodplain management regulations. A structure or other development without the elevation certificate, other certifications, or other evidence of compliance required in this chapter is presumed to be in violation until such time as that documentation is provided. (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

15.10.060 General Provisions

- A. *Lands to Which This Chapter Applies.* This chapter shall apply to all areas of special flood hazards within the jurisdiction of the City of Ashland, Oregon.
- B. *Basis for Establishing the Areas of Special Flood Hazard.* The areas of special flood hazard identified by the Federal Insurance Administration in a scientific and engineering report entitled “The Flood Insurance Study for Jackson County, Oregon and Incorporated Areas,” dated May 3, 2011, updated April 5, 2017, and the Ashland Modified Floodplain Map, adopted June 6, 1989, with accompanying flood insurance rate maps, is hereby adopted by reference and declared to be a part of this chapter. The flood insurance study and accompanying maps (as updated) are on file at City Hall, Ashland, Oregon.
- C. *Compliance.* No structure on land shall hereafter be constructed, located, extended, converted, or altered without full compliance with the terms of this chapter and other applicable regulations.
- D. *Coordination with State of Oregon Specialty Codes.* Pursuant to the requirement established in ORS [455](#) that the City of Ashland administers and enforces the State of Oregon Specialty Codes, the City of Ashland does hereby acknowledge that the Oregon Specialty Codes contain certain provisions that apply to the design and construction of buildings and structures located in special flood hazard areas. Therefore, this chapter is intended to be administered and enforced in conjunction with the Oregon Specialty Codes.
- E. *Abrogation and Greater Restrictions.* This chapter is not intended to repeal, abrogate, or impair any existing easements, covenants, or deed restrictions. However, where this chapter and another ordinance, State building code, easement, covenant, or deed restriction conflict or overlap, whichever imposes the more stringent restrictions shall prevail.
- F. *Interpretation.* In the interpretation and application of this chapter, all provisions shall be:
1. Considered as minimum requirements;
 2. Liberally construed in favor of the governing body; and
 3. Deemed neither to limit or repeal any other powers granted under State statutes and rules including the State building code.
- G. *Warning and Disclaimer of Liability.* The degree of flood protection required by this chapter is considered reasonable for regulatory purposes and is based on scientific and engineering consideration. Larger floods can and will occur on rare occasions. Flood heights may be increased by manmade or natural causes. This section

does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. This chapter shall not create liability on the part of the City, any officer or employee thereof, or the Federal Insurance Administration for any flood damages that result from reliance on this chapter or any administrative decision lawfully made hereunder. (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

15.10.070 Administration

A. *Establishment of Development Permit.* A floodplain development permit shall be obtained before construction or development begins within any area horizontally within the special flood hazard established in AMC [15.10.060.B](#). The permit shall be for all structures including manufactured dwellings, as set forth in the definitions, and for all other development including fill and other activities, also set forth in AMC [15.10.050](#). Application for a development permit shall be made on forms furnished by the Floodplain Administrator or their designee and may include, but not be limited to, plans in duplicate drawn to scale showing the nature, location, dimensions and elevations of the area in question; existing or proposed structures, fill, storage of materials, drainage facilities; and the location of the foregoing. Specifically, the following information is required:

1. Elevation in relation to mean sea level of the lowest floor (including basement) of all new and substantially improved structures;
2. Elevation in relation to mean sea level to which any structure has been flood-proofed;
3. Certification by a registered professional engineer or architect that the flood-proofing methods for any nonresidential structure meet the flood-proofing criteria in AMC [15.10.080.B.2](#);
4. Description of the extent to which any watercourse will be altered or relocated as a result of proposed development.
5. Base flood elevation data for subdivision proposals or other development when required per subsection [C](#) of this section. and AMC [15.10.080.A.5](#).
6. Substantial improvement calculation for any improvement, addition, reconstruction, renovation, or rehabilitation of an existing structure.
7. The amount and location of any fill or excavation activities proposed.

B. *Designation of the Floodplain Administrator.* The Floodplain Administrator or their designee is hereby appointed to administer and implement this chapter by granting or denying development permit applications in accordance with its provisions.

C. *Duties and Responsibilities of the Floodplain Administrator or Their Designee.* Duties and responsibilities of the Floodplain Administrator or their designee shall include, but not be limited to:

1. *Permit Review.*

- a. Review all development permits to determine that the permit requirements of this section have been satisfied.
 - b. Review all development permits to determine that all necessary permits have been obtained from those Federal, State or local governmental agencies from which prior approval is required.
 - c. Review all development permits to determine if the proposed development is located in the floodway. If located in the floodway, assure that the encroachment provisions of AMC [15.10.080.C.1](#) are met.
 - d. Review all development permits to determine if the proposed development is located in an area where base flood elevation (BFE) data is available either through the flood insurance study (FIS) or from another authoritative source. If BFE data is not available, then ensure compliance with the provisions of subsection [C.2](#) of this section; and
 - e. Review submittals for the base flood elevation (BFE) plus two (2) feet applicable to any building requiring a development permit.
 - f. Review all development permit applications to determine if the proposed development qualifies as a substantial improvement as defined in AMC [15.10.050](#).
 - g. Review all development permits to determine if the proposed development activity is a watercourse alteration. If a watercourse alteration is proposed, ensure compliance with the provisions in subsection [C.4](#) of this section.
 - h. Review all development permits to determine if the proposed development activity includes the placement of fill or excavation.
2. *Use of Other Base Flood Data.* When base flood elevation data has not been provided in accordance with AMC [15.10.060.B](#), Basis for Establishing the Areas of Special Flood Hazard, the Floodplain Administrator or their designee shall obtain, review, and reasonably utilize any base flood elevation and floodway data available from a Federal, State or other source in order to administer AMC [15.10.080.B.1](#), Specific Standards: Residential Construction, AMC [15.10.080.B.2](#), Specific Standards: Nonresidential Construction, and AMC [15.10.080.C](#), Floodways.
3. *Information to Be Obtained and Maintained.*
- a. Where base flood elevation data is provided through the flood insurance study or required as in subsection [C.2](#) of this section, obtain and record the actual elevation (in relation to mean sea level) of the lowest habitable floor (including basement and below-grade crawlspaces) and all attendant utilities of all new or substantially improved structures, and whether or not the structure contains a basement. Basements are not allowed in new construction.
 - b. For all new or substantially improved flood-proofed structures:
 - (1) Verify and record the actual elevation (in relation to mean sea level); and

- (2) Maintain the flood-proofing certifications required in subsection [A.3](#) of this section.
 - c. Maintain for public inspection all records pertaining to the provisions of this section.
 - d. Obtain and record the elevation (in relation to mean sea level) of the natural grade of the building site for a structure prior to the start of construction and the placement of any fill and ensure that all requirements are adhered to.
 - e. Where base flood elevation data are utilized, obtain as-built certification of the elevation (in relation to mean sea level) of the lowest floor (including basement) prepared and sealed by a professional licensed surveyor or engineer, prior to the final inspection.
 - f. Provide to the Floodplain Administrator or their designee the base flood elevation (BFE) applicable to any building requiring a development permit.
 - g. Obtain, record, and maintain the elevation (in relation to mean sea level) to which the structure and all attendant utilities were flood-proofed for all new or substantially improved flood-proofed structures where allowed under this chapter and where base flood elevation (BFE) data is provided through the FIS, FIRM, or obtained in accordance with subsection [C.2](#) of this section.
 - h. Maintain all flood-proofing certificates required under this chapter.
 - i. Record and maintain all variance actions, including justification for their issuance.
 - j. Obtain and maintain all hydrologic and hydraulic analyses performed as required under AMC [15.10.080.C](#).
 - k. Record and maintain all substantial improvement and substantial damage calculations and determinations as required under subsection [C.8](#) of this section.
4. *Alteration of Watercourses.*
- a. Notify adjacent communities and the Department of Land Conservation and Development and other appropriate State and Federal agencies prior to any alteration or relocation of a watercourse, and submit evidence of such notification to the Federal Insurance Administration. This notification shall be provided by the applicant to the Federal Insurance Administration as a letter of map revision (LOMR) along with either:
 - (1) A proposed maintenance plan to assure the flood-carrying capacity within the altered or relocated portion of the watercourse is maintained; or
 - (2) Certification by a registered professional engineer that the project has been designed to retain its flood-carrying capacity without periodic maintenance.
 - b. The applicant shall be required to submit a conditional letter of map revision (CLOMR) when required under this chapter. Ensure compliance with all applicable requirements.

5. *Interpretation of FIRM Boundaries.* Make interpretations where needed as to exact location of the boundaries of the areas of special flood hazards (for example, where there appears to be a conflict between a mapped boundary and actual field conditions). The person contesting the location of the boundary shall be given a reasonable opportunity to appeal the interpretation as provided in AMC [15.10.090](#).

6. *Community Boundary Alterations.* The Floodplain Administrator or their designee shall notify the Federal Insurance Administrator in writing whenever the boundaries of the community have been modified by annexation or the community has otherwise assumed authority or no longer has authority to adopt and enforce floodplain management regulations for a particular area, to ensure that all flood hazard boundary maps (FHBM) and flood insurance rate maps (FIRM) accurately represent the community's boundaries. Include within such notification a copy of a map of the community suitable for reproduction, clearly delineating the new corporate limits or new area for which the community has assumed or relinquished floodplain management regulatory authority.

7. *Submit New Technical Data.* A community's base flood elevations may increase or decrease resulting from physical changes affecting flooding conditions. As soon as practicable, but not later than six (6) months after the date such information becomes available, a community shall notify the Federal Insurance Administrator of the changes by submitting technical or scientific data in accordance with Title [44](#) of the Code of Federal Regulations (CFR), Section 65.3. The community may require the applicant to submit such data and review fees required for compliance with this section through the applicable FEMA letter of map change (LOMC) process. The Floodplain Administrator or their designee shall require a conditional letter of map revision prior to the issuance of a floodplain development permit for:

- a. Proposed floodway encroachments that increase the base flood elevation; and
- b. Proposed development which increases the base flood elevation by more than one (1) foot in areas where FEMA has provided base flood elevations but no floodway.

An applicant shall notify FEMA within six (6) months of project completion when an applicant has obtained a conditional letter of map revision (CLOMR) from FEMA. This notification to FEMA shall be provided as a letter of map revision (LOMR).

8. *Substantial Improvement and Substantial Damage Assessments and Determinations.* Conduct substantial improvement (SI) reviews for all structural development proposal applications and maintain a record of SI calculations within permit files in accordance with this chapter. Conduct substantial damage (SD) assessments when structures are damaged due to a natural hazard event or other causes. Make SD determinations whenever structures within the special flood hazard area are damaged to the extent that the cost of restoring the structure to its before damaged condition would equal or exceed fifty percent (50%) of the market value of the structure before the damage occurred. (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

15.10.080 Provisions for Flood Hazard Protection

A. *General Standards.* These specific standards shall apply to all new construction and substantial improvements in addition to the general standards contained in AMC [15.10.070](#). In all areas of flood hazards the following standards are required:

1. *Anchoring.*
 - a. All new construction and substantial improvements shall be anchored to prevent flotation, collapse or lateral movement of the structure;
 - b. All manufactured homes must likewise be anchored to prevent flotation, collapse, or lateral movement, and shall be installed using methods and practices that minimize flood damage. Anchoring methods may include, but are not limited to, use of over-the-top or frame ties to ground anchors (Reference FEMA's "Manufactured Home Installation in Flood Hazard Areas" guidebook).
2. *Construction Materials and Methods.*
 - a. All new construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage.
 - b. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.
3. *Utilities.*
 - a. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system;
 - b. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and
 - c. On-site waste disposal systems shall be located to avoid impairment to them or contamination during flooding.
4. *Equipment.* Electrical, heating, ventilating, air-conditioning, plumbing, duct systems, and other equipment and service facilities shall be:
 - a. Elevated to at least two (2) feet above the base flood elevation; or
 - b. Designed and installed to prevent water from entering or accumulating within the components and to resist hydrostatic and hydrodynamic loads and stresses, including the effects of buoyancy, during conditions of flooding.
 - c. If replaced as part of a substantial improvement, shall meet all the requirements of this section.
5. *Subdivision Proposals.*

- a. All subdivision proposals shall be consistent with the need to minimize flood damage;
 - b. All subdivision proposals shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage;
 - c. All subdivision proposals shall have adequate drainage provided to reduce exposure to flood damage; and
 - d. Where base flood elevation data has not been provided or is not available from another authoritative source it shall be generated for subdivision proposals and other proposed development which contain at least fifty (50) lots or five (5) acres, whichever is less.
6. *Review of Building Permit.*
- a. Where elevation data is not available, either through the Flood Insurance Study or from another authoritative source (AMC [15.10.070.C](#)), applications for building permits shall be reviewed to assure that proposed construction will be reasonably safe from flooding. The test of reasonableness is a local judgment and includes use of historical data, high water marks, photographs of past flooding, etc., where available. Failure to elevate the lowest floor at least two (2) feet above grade in these zones may result in higher insurance rates.
 - b. To determine the flood base elevation, the applicant's Oregon registered engineer or land surveyor shall investigate all available sources of information, such as historic flooding profiles, high water marks, photographs of past flooding, soil characteristics, or any other feasible methods. A report shall be submitted to the City by the applicant, setting forth said elevation and citing the evidence upon which the estimate is made. Said report may be accepted or rejected by the City. The Oregon registered engineer or surveyor shall place a permanent elevation marker on the property.
 - c. When base flood elevation data has not been provided in accordance with AMC [15.10.060.B](#), the local Floodplain Administrator or their designee shall obtain, review, and reasonably utilize any base flood elevation data available from a Federal, State, or other source in order to administer this chapter. All new subdivision proposals and other proposed new developments (including proposals for manufactured dwelling parks and subdivisions) must meet the requirements of subsection [A.5](#) of this section.
 - d. Base flood elevations shall be determined for development proposals that are five (5) acres or more in size or are fifty (50) lots or more, whichever is lesser in any "A" zone that does not have an established base flood elevation. Development proposals located within a riverine unnumbered "A" zone shall be reasonably safe from flooding; the test of reasonableness includes use of historical data, high water marks, FEMA provided base level engineering data, and photographs of past flooding where available.
 - e. When no base flood elevation data is available, the elevation requirement for development proposals within a riverine unnumbered "A" zone is a minimum of two (2) feet above the highest adjacent grade, to be reasonably safe from flooding. Failure to elevate at least two (2) feet above grade in these zones may result in higher insurance rates.

B. *Specific Standards.* In all areas of special flood hazards where base flood elevation data has been provided as set forth in AMC [15.10.060.B](#), Basis for Establishing the Areas of Special Flood Hazard, or AMC [15.10.070.C.2](#), Use of Other Base Flood Data, in addition to the general standards listed in AMC [15.10.070](#), the following provisions are required:

1. *Residential Construction.*

a. Any new construction, conversion of existing structures, and substantial improvement of any residential structure shall have the lowest floor, including basement, elevated to at least two (2) feet above the base flood elevation. Prior to the issuance of a certificate of occupancy by the City, the property owner shall furnish certification by a registered engineer or surveyor of the actual elevation of the lowest habitable floor, including a basement.

b. Enclosures that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood sources on exterior walls by allowing for entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or must meet or exceed the following minimum criteria:

(1) A minimum of two (2) openings having a total net area of not less than one (1) square inch for every square foot of enclosed area subject to flooding, where the enclosed area is measured on the exterior of the enclosure walls.

(2) The bottom of all openings shall be no higher than one (1) foot above grade.

(3) Openings may be equipped with screens, louvers, or other coverings or devices; provided, that they permit the automatic entry and exit of flood-waters into and out of the enclosed areas and shall be accounted for in the determination of the net open area.

(4) All additional standards for flood openings in the State of Oregon Residential Specialty Codes Section R322.2.2 shall be complied with when applicable.

2. *Nonresidential Construction.* Any new construction, conversion of existing structures, and substantial improvement of any commercial, industrial or other nonresidential structure shall either have the lowest floor, including basement, elevated to the level of the base flood elevation; or, together with attendant utility and sanitary facilities; shall:

a. Be flood-proofed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water;

b. Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; and

c. Be certified by an Oregon registered professional engineer or architect that the designs and methods of construction are in accordance with accepted standards of practice for meeting the provisions of this subsection based on their development review of the structural design, specifications and plans. Such certifications shall be provided to the official as set forth in AMC [15.10.070.C.3.b](#).

- d. Nonresidential structures that are elevated, not flood-proofed, must meet the same standards for space below the lowest floor as described in subsection [B.1.b](#) of this section.
 - e. Applicants flood-proofing nonresidential buildings shall be notified that flood insurance premiums will be based on rates that are one (1) foot below the flood-proofed level (e.g., a building constructed to the base flood level will be rated as one (1) foot below that level).
3. *Manufactured Dwellings.* All manufactured dwellings to be placed or substantially improved within Zones A1-30, AH, and AE shall be elevated on a permanent foundation such that the lowest floor of the manufactured dwelling is at least two (2) feet above the base flood elevation and be securely anchored to an adequately anchored foundation system in accordance with the provisions of subsection [A.1](#) of this section. and
- a. Manufactured dwellings to be placed (new or replacement) or substantially improved that are supported on solid foundation walls shall be constructed with flood openings that comply with subsection [B.1.b](#) of this section;
 - b. The bottom of the longitudinal chassis frame beam shall be at or above two (2) feet above base flood elevation;
 - c. Manufactured dwellings to be placed (new or replacement) or substantially improved shall be anchored to prevent flotation, collapse, and lateral movement during the base flood in accordance with the provisions of subsection [A.1](#) of this section.
 - d. Electrical crossover connections shall be at or above two (2) feet above base flood elevation (BFE).
4. Recreational vehicles placed on sites are required to either:
- a. Be on the site for fewer than 180 consecutive days;
 - b. Be fully licensed and ready for highway use, on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and have no permanently attached additions; or
 - c. Meet the requirements of this section regarding the elevation and anchoring requirements for manufactured dwellings.
5. *Critical Facility.* Construction of new critical facilities shall be, to the extent possible, located outside the limits of the special flood hazard area (SFHA) (100-year floodplain). Construction of new critical facilities shall be permissible within the SFHA if no feasible alternative site is available. Critical facilities constructed within the SFHA shall have the lowest floor elevated three (3) feet above BFE or to the height of the 500-year flood, whichever is higher. Access to and from the critical facility should also be protected to the height utilized above. Flood-proofing and sealing measures must be taken to ensure that toxic substances will not be displaced by or released into floodwaters. Access routes elevated to or above the level of the base flood elevation shall be provided to all critical facilities to the extent possible.

6. *Below-Grade Crawl Spaces.* Below-grade crawl spaces area allowed provided they conform to the guidelines in FEMA Technical Bulletin 11-01, Crawlspaces Construction for Buildings Located in Special Flood Hazard Areas.

7. *Tanks.* Underground tanks shall be anchored to prevent flotation, collapse and lateral movement under conditions of the base flood. Above-ground tanks shall be installed an elevated to at least two (2) feet above the base flood elevation; or shall be anchored to prevent flotation, collapse, and lateral movement under conditions of the base flood.

8. *Accessory Structures.* Relief from elevation or flood-proofing requirements for residential and nonresidential structures in riverine (noncoastal) flood zones may be granted for accessory structures including but not limited to sheds, garages, barns, pool houses, and art studios that meet the following requirements:

- a. Accessory structures located partially or entirely within the floodway must comply with requirements for development within a floodway found in subsection [C](#) of this section.
- b. Accessory structures must only be used for parking, access, and/or storage and shall not be used for human habitation.
- c. Accessory structures are limited to one-story structures less than 600 square feet.
- d. The portions of the accessory structure located below the base flood elevation must be built using flood-resistant materials.
- e. The accessory structure must be adequately anchored to prevent flotation, collapse, and lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, during conditions of the base flood.
- f. The accessory structure must be designed and constructed to equalize hydrostatic flood forces on exterior walls and comply with the requirements for flood openings in subsection [B.1.b](#) of this section.
- g. Accessory structures shall be located and constructed to have low damage potential.
- h. Accessory structures shall not be used to store toxic material, oil, or gasoline, or any priority persistent pollutant identified by the Oregon Department of Environmental Quality unless confined in a tank installed in compliance with subsection [B.7](#) of this section.
- i. Accessory structures shall be constructed with electrical, mechanical, and other service facilities located and installed so as to prevent water from entering or accumulating within the components during conditions of the base flood.

C. *Floodways.* Located within areas of special flood hazard established in AMC [15.10.060.B](#) are areas designated as floodways. Since the floodway is an extremely hazardous area due to the velocity of floodwaters which carry debris, potential projectiles, and erosion potential, the following provisions apply:

1. Prohibit encroachments, including fill, new construction, substantial improvements, and other development unless:
 - a. Certification by a registered professional civil engineer is provided demonstrating through hydrologic and hydraulic analyses performed in accordance with standard engineering practice that the proposed encroachment shall not result in any increase in flood levels within the community during the occurrence of the base flood discharge. Encroachments within the adopted regulatory floodway that would result in an increase in base flood elevations may be permitted; provided, that a conditional letter of map revision (CLOMR) is applied for and approved by the Federal Insurance Administrator, and the requirements for such revision as established under Volume [44](#) of the Code of Federal Regulations, Section 65.12 are fulfilled.
 2. If subsection [C.1](#) of this section is satisfied, all new construction and substantial improvements shall comply with all applicable flood hazard reduction provisions of this section, Provisions for Flood Hazard Protection.
- D. *Structures Located in Multiple or Partial Flood Zones.* In coordination with the State of Oregon Specialty Codes:
1. When a structure is located in multiple flood zones on the community's flood insurance rate maps (FIRM), the provisions for the more restrictive flood zone shall apply.
 2. When a structure is partially located in a special flood hazard area, the entire structure shall meet the requirements for new construction and substantial improvements. (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

15.10.090 Variances and Appeals

- A. Appeals shall be granted consistent with the standards of Section 1910.6 of the Rules and Regulations of the National Flood Insurance Program.
- B. The Board of Appeals established by AMC [15.04.200](#) shall hear variances and appeals from the final decisions of the Floodplain Administrator or their designee.
- C. In passing upon applications for appeal or variance, the Board of Appeals shall consider all technical evaluations, all relevant factors, standards specified in other parts of this code; and
 1. The danger that materials may be swept onto other lands to the injury or loss of others;
 2. The danger to life and property due to flooding or erosion damage;
 3. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
 4. The importance of the services provided by the proposed facility to the community;

5. The necessity to the facility of a waterfront location where applicable;
 6. The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;
 7. The compatibility of the proposed use with existing and anticipated development;
 8. The consistency of the proposed use with the policies of the Comprehensive Plan and floodplain management program for that area;
 9. The safety of access to the property in times of flood for ordinary and emergency vehicles;
 10. The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and effects of channel movement, if applicable, expected at the site; and
 11. The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.
- D. Upon consideration of the factors of and the purpose of this chapter, the Board of Appeals may attach such conditions to the granting of variances as it deems necessary to further the purposes of this chapter.
- E. The Floodplain Administrator or their designee shall maintain the records of all appeal actions and variances and report any variances to the Federal Insurance Administration upon approval.
- F. *Conditions for Variances.*
1. The issuance of a variance is for floodplain management purposes only. Generally, variances may be issued for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, in conformance with the provisions of subsections [F.2](#) and [F.5](#) of this section. As the lot size increases beyond one-half acre, the technical justification required for issuing a variance increases.
 2. Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.
 3. Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.
 4. Variances shall only be issued upon:
 - a. A showing of good and sufficient cause;
 - b. A determination that failure to grant the variance would result in exceptional hardship for the applicant; and

c. A determination that granting the variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public, or conflict with existing laws or ordinances.

5. Variances may be issued for new construction and substantial improvements and for other development necessary for the conduct of a functionally dependent use provided that the criteria of subsections [F.2](#) through [F.4](#) of this section are met, and the structure or other development is protected by methods that minimize flood damages during the base flood and create no additional threats to public safety.

6. Any applicant to whom a variance is granted shall be given written notice that the cost of flood insurance will be commensurate with any increased risk that may result from development for which the variance is issued. (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

15.10.100 Penalties

In addition to those remedies otherwise provided under AMC [1.08.020](#), any person who violates any provision of this chapter is subject to AMC [15.04.260](#). (Ord. 3238, amended, 06/18/2024; Ord. 3046, amended, 03/15/2011; Ord. 2925, amended, 04/18/2006)

Chapter 15.16 PLUMBING CODE

Sections:

- 15.16.010 State Law Adopted**
- 15.16.240 Permits and Fees**
- 15.16.340 Penalty**
- 15.16.350 Liability**

15.16.010 State Law Adopted

ORS [447.010](#) to [447.156](#) and [447.992](#), governing plumbing and water supply and distribution, adopted by the State Board of Health and on file with the Secretary of State, are adopted by reference in this code. All acts declared unlawful by the sections of Oregon Revised Statutes and by the regulations of the State Board of Health enumerated in this section shall be considered offenses against the City when committed within its boundaries. If a provision of the incorporated statutes or regulations conflicts with a specific provision of this chapter, then the provisions containing the most restrictive requirement shall prevail. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 1376 § 1, amended, 1965)

15.16.240 Permits and Fees

A person must obtain a permit from the City as required by State law. For application in this City, the plumbing specialty code fees shall be established by resolution of the City Council. (Ord. 3238, amended, 06/18/2024; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006; Ord. 2896, amended, 06/03/2003)

15.16.340 Penalty

In addition to those remedies otherwise provided under AMC [1.08.020](#), any person who violates any provision of this chapter is subject to AMC [15.04.260](#). (Ord. 3238, amended, 06/18/2024; Ord. 3137, amended, 2017; Ord. 2925, amended, 04/18/2006; Ord. 2382 § 17, amended, 1986; Ord. 1810 (part), amended, 1974; Ord. 1376 § 31, amended, 1965)

15.16.350 Liability

Any person violating any of the provisions of this chapter is, in addition to the penalties described in AMC [15.16.340](#), liable to the City for any expense, loss or damage occasioned the City by reason of such violation. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 1376 § 32, amended, 1965)

Chapter 15.20 ELECTRICAL CODE

Sections:

- [15.20.010 Purpose](#)
- [15.20.020 Code Adoption](#)
- [15.20.030 Powers and Duties of Building Official](#)
- [15.20.040 Fee Schedule](#)
- [15.20.050 Permit Format](#)
- [15.20.060 Electrical Permits Generally](#)
- [15.20.080 Inspections Required](#)
- [15.20.090 Penalty](#)

15.20.010 Purpose

The purpose of this chapter is to establish a municipal electrical program by the City of Ashland for the administration and enforcement of the State of Oregon Electrical Specialty Code. Pursuant to ORS [479.855](#), such

administration and enforcement may be delegated by the State to the City, provided certain minimum standards are met. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.20.020 Code Adoption

The Oregon Electrical Specialty Code, specified in Oregon Administrative Rule 918, Division 305 is adopted as a part of this chapter and further referred to in this chapter as the Electrical Specialty Code. (Ord. 3238, amended, 06/18/2024; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

15.20.030 Powers and Duties of Building Official

The Building Official is authorized and directed to enforce all the provisions of the electrical code. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.20.040 Fee Schedule

The fee schedule for electrical shall be established by resolution of the City Council as the fee schedule for the City in the administration of the electrical code. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2896, amended, 06/03/2003)

15.20.050 Permit Format

The permit format established in OAR [918-309-0010](#) is adopted as the permit format for the City in the administration of the electrical code. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.20.060 Electrical Permits Generally

Permits shall be issued in compliance with ORS [479.560](#) and OAR Chapter [918](#), Division [309](#). (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.20.080 Inspections Required

Inspections shall be called for and made as provided in the electric code and OAR Chapter [918](#), Division [271](#). The general contractor will notify the Building Official when ready for inspections as listed on the inspection card.

Inspections will be made within forty-eight (48) hours after notification, Saturdays, Sundays and holidays excepted. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006)

15.20.090 Penalty

In addition to those remedies otherwise provided under AMC [1.08.020](#), any person who violates any provision of this chapter is subject to AMC [15.04.260](#). (Ord. 3238, amended, 06/18/2024; Ord. 3137, amended, 2017; Ord. 3043, amended, 12/21/2010; Ord. 2925, amended, 04/18/2006)

Chapter 15.24

UNDERGROUND ELECTRICAL SERVICE

Sections:

15.24.010 Residential Service Authorized

15.24.020 Contract – Required

15.24.030 Contract – Form

15.24.040 Denial of Obligation

15.24.010 Residential Service Authorized

Underground electric service may be provided by the Electrical Department of the City to service residential lots within the City if determined feasible by the Electric Superintendent with the approval of the City Council. (Ord. 2925, amended, 04/18/2006; Ord. 1392 § 1, amended, 1965)

15.24.020 Contract – Required

Such service will be provided upon contract with the adjoining property owners, the form of which shall receive prior approval of the City Council. Said contract shall provide for the amount or proportion of cost to be paid by the adjoining property owners. (Ord. 2925, amended, 04/18/2006; Ord. 1392 § 2, amended, 1965)

15.24.030 Contract – Form

A copy of the contract form approved as of the date of the ordinance codified in this Chapter is on file in the office of the City Recorder, and by this reference made a part thereof; provided, however, that said form may be revised

at any time hereafter upon approval of the City Council. (Ord. 2925, amended, 04/18/2006; Ord. 1392 § 3, amended, 1965)

15.24.040 Denial of Obligation

The City shall under no circumstances be compelled to furnish such underground electrical distribution service, but shall, within its sole discretion, determine the financial feasibility of the installation of such service. (Ord. 2925, amended, 04/18/2006; Ord. 1392 § 4, amended, 1965)

Chapter 15.28

FIRE PREVENTION CODE

Sections:

- 15.28.010 Adoption of Oregon Fire Code**
- 15.28.020 Establishment of Duties**
- 15.28.030 Definitions**
- 15.28.050 Fire Protection System Maintenance**
- 15.28.060 Restricted Uses During Fire Season**
- 15.28.070 City of Ashland Modifications to the Oregon Fire Code – 2022 Edition**
- 15.28.090 New materials, processes or occupancies – Permits required**
- 15.28.100 Penalties**
- 15.28.110 Severability**
- 15.28.120 Firefighting Outside City – Authorized**
- 15.28.130 Firefighting outside City – Resources**
- 15.28.150 Plan Review/Permits – Fees**
- 15.28.160 Code Compliance Inspection/Fees**
- 15.28.170 Cost Recovery Fees**

15.28.010 Adoption of Oregon Fire Code

Except as specifically excluded or modified by this chapter, the City of Ashland adopts the 2022 Oregon Fire Code and Appendices A through N and Q through T which will be referred to in the Ashland Municipal Code as the Oregon Fire Code (“OFC”). One (1) copy of the Oregon Fire Code and appendices shall be filed in the office of the City Recorder. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 1, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 1, amended, 02/05/2018; Ord. 3104, amended, 2014; Ord. 3037, amended, 09/07/2010; Ord. 2944, amended, 11/06/2007; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.020 Establishment of Duties

The Oregon Fire Code shall be enforced by the Fire Code Official as defined by the Oregon Fire Code. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 2, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.030 Definitions

The following definitions govern the construction of this chapter:

- A. "Jurisdiction," as used in the Oregon Fire Code, means the City of Ashland ("Ashland").
- B. "Department of Fire Prevention," as used in the Oregon Fire Code, means "Wildfire and Community Risk Reduction Division."
- C. "Fire Code Official," as used in the Oregon Fire Code, means the Fire Chief or designee.
- D. "Apparatus cost" means the standardized cost, including repairs and depreciation, for the use of Ashland Fire and Rescue ("AF&R") and public works apparatus or equipment, as set forth in adopted regulations of the State Fire Marshal or in City resolution, and the cost for the use of apparatus or equipment of another jurisdiction which may respond to an incident pursuant to statute or intergovernmental agreement.
- E. "Direct costs" means those costs of supplies, apparatus and labor incurred by the City or another jurisdiction in responding to an incident and as may be set forth in adopted regulations of the State Fire Marshal or in City resolution.
- F. "Direct fire or rescue services" means any service provided by employees of the City (1) to a person whose person or property is injured or threatened with injury; or (2) to a person whose property has injured or threatens to injure another person or another person's property, for which a charge is not otherwise imposed under this code. "Direct fire or rescue services" includes, but is not limited to, the suppression of fires, the rescue of persons or property, the provision of medical assistance, and containment and cleanup of hazardous materials.
- G. "Indirect costs" means those costs that are set forth in adopted regulations of the State Fire Marshal or in City resolution, and which are the product of the State "average response availability rate" and the time spent responding to an incident, together with the State "average support services cost per incident," as defined by the State Fire Marshal.
- H. "General costs" means direct or indirect costs that are not attributable to any particular person who received direct fire and rescue services.
- I. "Gross negligence" means conduct with conscious indifference to or reckless disregard of the rights of others.
- J. "Labor costs" means the compensation paid by the City to its employees, including but not limited to base pay, overtime pay and fringe benefits, during the time spent responding to an incident.

- K. “Fire prevention organization” (FPO) means the organization or the individual, within the City of Ashland or otherwise delegated, that has the authority to provide fire prevention, inspection and code enforcement, plan review, investigation, and fire and life safety education.
- L. *Occupancy Classification.*
1. *Low-Risk Occupancy.* An occupancy that has a history of low frequency of fires and minimal potential for loss of life or economic loss. Examples of low-risk occupancies could include storage, mercantile, and business.
 2. *Moderate-Risk Occupancy.* An occupancy that has a history of moderate frequency of fires or a moderate potential for loss of life or economic loss. Examples of moderate-risk occupancies could include ambulatory health care and industrial occupancies that do not maintain, store, use, or handle hazardous materials in excess of exempt amounts.
 3. *High-Risk Occupancy.* An occupancy that has a history of high frequency of fires, high potential for loss of life or economic loss, or that has a low or moderate history of fires or loss of life but the occupants have a high dependency on the built-in fire protection features or staff to assist in evacuation during a fire or other emergency. Examples of high-risk occupancies could include multiple-family dwellings, high-rise buildings, hotels, dormitories, lodging and rooming, assembly, child care, detention, educational, health care, and industrial.
 4. *Critical Infrastructure.* The assets, systems, and networks, whether physical or virtual, that are so vital to the community that their damage or destruction would have a debilitating effect. Examples of critical infrastructures could include water treatment plant, special structures, public safety buildings, and power plants.
- M. “Railroad right-of-way” means a right-of-way used for rail transportation.
- N. “Scope” establishes the organization and deployment of fire prevention resources for fire prevention inspection and code enforcement activities in existing occupancies, new construction and renovation inspections.
- O. “Transportation route” means a roadway or waterway against which no taxes or assessments for fire protection are levied by the City. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 3, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 2,, amended, 02/05/2018; Ord. 3081, amended, 04/02/2013)

15.28.050 Fire Protection System Maintenance

Fire protection systems service providers providing inspections, tests, and maintenance required by OFC 901.6, and the referenced standards shall be qualified and shall provide the inspections, tests, and maintenance in accordance with the referenced standards and OFC Section 108.3. Failure by a company or individual service provider to follow the referenced standards is a Class I violation. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 4, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 3, amended, 02/05/2018; Ord. 3104, amended, 2014)

15.28.060 Restricted Uses During Fire Season

A. The City of Ashland will follow the Oregon Department of Forestry (“ODF”) burn restrictions and regulations during fire season. Open flame and fire pits are prohibited at high fire index.

Exemption: A seasonal permit for contractors can be obtained for use within the City of Ashland to allow for powered equipment use during fire season (i.e., landscape, construction, etc.). Working on or within one-eighth (1/8) of a mile of ODF-protected property requires an additional permit issued from ODF.

B. The Fire Code Official or designees may issue a permit which allows a person to conduct a restricted activity as long as specified fire prevention measures are taken to reduce the potential for fire ignition. Contractors, such as those performing landscape or construction work, may obtain a seasonal permit for use within the City to allow for powered equipment used during fire season. Working on or within one-eighth (1/8) of a mile of ODF-protected property requires an additional permit issued by ODF. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 5, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 4, amended, 02/05/2018; Ord. 3037, amended, 09/07/2010; Ord. 2944, amended, 11/06/2007; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.070 City of Ashland Modifications to the Oregon Fire Code – 2022 Edition

Ashland Fire Prevention Code incorporates the Oregon Fire Code 2022 Edition except that the following referenced OFC sections are modified as set forth below:

A. OFC Section 104.6.3 is modified by the addition of the following language:

Fire Investigation Reports for fires that are under investigation will not be released until the investigation is complete. Exception: The Fire Chief may release incomplete Fire Investigation Reports if warranted.

B. OFC Section 106.2 is modified by the addition of the following language:

1. Inspections outside of normal business hours: The Wildfire and Community Risk Reduction Division will make every attempt to conduct inspections during normal business hours (Monday thru Friday 8 am to 5 pm). If the applicant or business owner’s agent requests an inspection outside of normal business hours, or if the Fire Code Official determines a permit inspection is required and there is no other alternative but to conduct the inspection outside of normal business hours, the Fire Code Official shall inform the applicant or business agent there will be an after-hours inspection fee of \$150.00. The inspection will not be performed until the required fees have been paid.

For additional information see City of Ashland Fee Schedule.

2. Re-Inspection Fees, each Fire & Life Safety inspection is provided with one additional re-inspection at no additional cost to the business. If a second re-inspection is required, a fee of the base inspection plus \$100 shall be assessed. If a third re-inspection is required, a fee of the base inspection plus \$200.00 shall be assessed. If a fourth re-inspection is required, a fee of the base plus \$400.00 shall be assessed.

For additional information see City of Ashland Fee Schedule.

C. OFC Section 105.1.1 is modified by the addition of the following language:

A schedule of permit and service fees not more than the actual or average cost of providing service shall be established by resolution of the City Council and periodically amended by Council resolution and kept at Ashland Fire & Rescue and in the City Recorder's office. Required permits include, but may not be limited to, the following list:

1. Operational Permits:

- a. Fireworks, public display of
- b. Exhibits and trade shows
- c. Fumigation and thermal insecticidal fogging
- d. Liquid or gas-fueled vehicles or equipment in assembly buildings
- e. Pyrotechnic and special effects material
- f. Temporary membrane structures, tents and canopies over 400 square feet
- g. Activities involving open flames
- h. Haunted Houses
- l. Marijuana processing

2. Construction/Use Permits:

- a. Automatic fire-extinguishing systems
- b. Battery Systems
- c. Compressed gases

- d. Fire alarm and detection systems
- e. Fire Pumps
- f. Flammable and Combustible Liquid Storage
- g. Hazardous Materials
- h. Industrial Ovens
- i. LP-gas >125 gallons
- j. Private Fire Hydrants
- k. Spraying or dipping operations
- l. Standpipe systems
- m. Fire Sprinkler Systems

D. OFC Section 105.6.30, Open Burning, is modified by deleting the current language of this OFC provision entirely and adding the following language:

See Ashland Municipal Code [10.30](#).

E. OFC Section 503.4 is modified by the addition of the following language:

1. The Ashland Police Department shall have the authority to issue fire code citations for the following offenses on public and private properties:

- a. Obstruction of marked fire apparatus access roads and fire lanes (Ref. OFC 503.4; 503.2.1)
- b. Failure to maintain existing NO PARKING – FIRE LANE signs/markings (Ref. OFC 503.3; D103.6)
- c. Obstruction of fire hydrants and fire protection equipment (Ref. OFC 507.5.4; ORS [811.550\(16\)](#))
- d. The Ashland Police Department may cite the registered owner of the vehicle if the vehicle is found to be standing in violation or tow the vehicle if in the opinion of the officer the parked vehicle is creating a hazard to the community.

F. OFC Section 506.1. Add the following sentence:

The key box shall be installed and maintained in accordance with the manufacturer's instructions, and shall contain keys to gain necessary access as required by the Fire Code Official.

G. OFC Section 507.5.1. Delete and replace with the following:

Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 300 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the Fire Code Official.

Exceptions:

1. For Group R-3 and Group U occupancies, the distance requirement shall be 300 feet.
2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2, or 903.3.1.3, the distance requirement shall be 600 feet (183 m).

H. OFC Section 307 is modified by deleting the current language of this OFC provision entirely and adding the following language:

Refer to AMC [10.30](#).

I. OFC Section 901.6, Records, is modified by deleting the current language of this OFC provision entirely and adding the following language:

Records of all system inspections, tests, and maintenance required by the referenced standards shall be maintained on the premises for a minimum of three years and service contractors shall send reports of tests to the City of Ashland Fire & Life Safety Division within thirty (30) days of performing the inspection and test. The manner in which contractors shall submit ITM reports to Ashland Fire & Rescue shall be specified by the Fire Code Official.

J. OFC Section 904.1.1 is modified by the addition of the following language:

Fire protection system service providers providing inspections, tests, and maintenance required by OFC 901.6 and the referenced standards shall be qualified and shall provide the inspections, tests and maintenance in accordance with the referenced standards. Where the manufacturer requires only manufacturer certified technicians to conduct inspection, testing and maintenance service on their engineered fire protection systems, uncertified technicians shall not service the system. Prior to

conducting service in the City of Ashland the technicians shall provide a current manufacturer certification in a manner specified by the Fire Code Official.

- K. OFC Section 5601.1.3 is modified by the addition of the following language:

Notwithstanding ORS [480.110](#) through ORS [480.165](#) and OAR [837-012-0600](#) through OAR [837-012-0675](#), the sale of retail fireworks as defined in OAR [837-012-0610](#) is prohibited within the City of Ashland.

1. The sale and/or use of retail fireworks as defined in OAR [837-012-0610](#) is prohibited at all times;
2. The sale and/or use of sparklers as defined in ORS [480.110](#) is prohibited at all times;
3. The storage of retail fireworks within the City of Ashland is prohibited at all times; and
4. The advertising of retail fireworks or sparklers is prohibited within the City of Ashland in accordance with ORS [480.152](#) and OAR [837-012-0665](#).
5. As a limited exception from the prohibitions in provisions 1 through 4 above, the use of fireworks for public display is allowed in conformance with NFPA 1123 Code for Fireworks Display, current edition, with a valid Ashland Fire & Rescue Fireworks Permit.

- L. OFC Section 5601, Storage of Explosives – Prohibited, is modified by the addition of the following language:

The scope referred to in Chapter 5601 of the Oregon Fire Code which references the Oregon Revised Statutes and Oregon Administrative Rules related to explosives is amended as follows. The sale, manufacture, possession, transfer and storage of explosives as defined by ORS [480.200\(3\)](#) are prohibited in all areas within the City of Ashland except as specifically permitted in writing by the Fire Code Official.

- M. OFC Section 5704, Above-Ground Storage of Flammable or Combustible Liquids, is modified by the addition of the following language:

The limits referred to in Section 5704.2.9.6.1 of the Oregon Fire Code in which the storage of flammable or combustible Class I and II liquids in above-ground tanks outside of buildings is restricted are established as follows: All City of Ashland residential and historical district areas as defined in the Comprehensive Plan. All installation and removal of above ground storage units requires an operational permit from Ashland Fire & Rescue. New above-ground bulk storage plants for flammable or combustible liquids are prohibited within this jurisdiction.

- N. The City of Ashland is prohibiting OFC Section 5707, On-Demand Mobile Fueling Operations within the City Limits.

O. OFC Section 6104, Storage of Liquefied Petroleum Gases – Restricted:

The limits referred to in Section 6104.2 of the Oregon Fire Code, in which storage of liquefied petroleum gas is restricted, are established as follows: All City of Ashland residential and historical district areas as defined in the Comprehensive Plan are limited to the aggregate capacity of any one installation shall not exceed a water capacity of 500 gallons.

Exception: In particular installations, this capacity limit shall be determined by the Fire Code Official, after consideration of special features such as topographical conditions, nature of occupancy, and proximity to buildings, capacity of proposed containers, degree of fire protection to be provided and capabilities of the City of Ashland Fire & Rescue Department.

P. OFC Appendix A101.11 is modified by the addition of the following language:

A decision by the Ashland Fire Code Official may be appealed to a Board of Appeals established pursuant to Oregon Fire Code Section 108 of the Oregon Fire Code. An appellant aggrieved by the decision of the Board of Appeals may appeal to the Oregon State Fire Marshal as provided in ORS [479.180](#) if the subject of the appeal concerns a matter governed exclusively by the Oregon Fire Code and the appeal is filed within 10 days of the Board's final order. If an appeal from the decision of the Board of Appeals, however, concerns a matter reserved by this Ashland Fire Prevention Code (Ashland Municipal Code Chapter [15.28](#)) for local decision-making, such an appeal must be submitted in writing to the Ashland City Council within 10 days of the Board's final order. A decision by the City Council shall be the final decision of the City and may not be appealed to the State Fire Marshal.

Q. OFC Appendix D105.1, Aerial Fire Apparatus Access Roads, is modified by deleting the current language of this OFC provision entirely and adding the following language:

Where required. (Buildings or portions of buildings or facilities exceeding 24 feet in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus.) Where the vertical distance between the grade plane and the highest roof surface exceeds 24 feet approved aerial fire access roads shall be provided. For the purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway or between the aerial fire access road and the building.

R. OFC Appendix D105.2 is modified by deleting the current language of this OFC provision entirely and adding the following language:

Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet in the immediate vicinity of any building or portion of building more than 24 feet in height.

(Ord. 3233, amended, 04/02/2024; Ord. 3218 § 6, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 5, amended, 02/05/2018; Ord. 3104, amended, 2014; Ord. 3059, amended, 04/17/2012; Ord. 3037, amended, 09/07/2010; Ord. 3006, amended, 03/02/2010; Ord. 2944, amended, 11/06/2007; Ord. 2932, amended, 10/18/2006; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006; Ord. 2876, amended, 09/04/2001; Ord. 2871, amended, 08/07/2001)

15.28.090 New materials, processes or occupancies – Permits required

The Building Official, the Fire Chief and the Fire Marshal shall act as a committee to determine and specify, after giving affected persons an opportunity to be heard, any new materials, processes or occupancies for which permits are required in addition to those now enumerated in the Oregon Fire Code. The Building Official, in accordance with Section 104.9 of the Oregon Structural Specialty Code, shall record and enter in the files of the Building Department any action granting approval of new or alternate materials. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 7, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 6, amended, 02/05/2018; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.100 Penalties

- A. Any person violating or causing violation of any of the provisions of this chapter has committed a Class I violation and, upon conviction thereof, is punishable as prescribed in AMC [1.08.020](#). Such person, firm or corporation is guilty of a separate violation for each and every day during which any violation of this chapter is committed or continued by such person, firm or corporation. This violation can be retroactively applied to the first day the occupant or owner was made aware of the violation by the Fire Code Official.
- B. For any violations of this chapter deemed to be life-threatening, a citation can be issued for each and every occurrence, including multiple occurrences in one (1) day. Life-threatening hazards include but are not limited to overcrowding, locking or obstructing doors designated to remain unlocked, and shutting off or removing designated fire protection equipment.
- C. The application of the above penalty shall not be held to prevent the enforced removal of prohibited conditions. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 8, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 7, amended, 02/05/2018; Ord. 3059, amended, 04/17/2012; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.110 Severability

Should any section, paragraph, sentence or word of this chapter or of the code hereby adopted be declared for any reason to be invalid, it is the intent of the City of Ashland that it would have passed all other portions of the ordinance codified in this chapter independent of the elimination herefrom of any such portion as may be declared invalid. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 9, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.120 Firefighting Outside City – Authorized

In accordance with ORS [476.290](#), the Fire Chief or representative is authorized to extinguish uncontrolled fires that are found to be burning in unprotected areas situated outside the boundaries of the City and that are causing or may cause an undue jeopardy to life or property if, in the opinion of the Fire Chief or representative, such fire is causing or may cause an undue jeopardy to life or property. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 10, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006; Ord. 1698 § 1, amended, 1971)

15.28.130 Firefighting outside City – Resources

In extinguishing a fire pursuant to AMC [15.28.120](#), the Fire Chief or representative may employ the same means and resources used by them to extinguish similar fires within the City. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 11, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 2929, amended, 08/18/2006; Ord. 2925, amended, 04/18/2006; Ord. 2921, amended, 01/05/2006)

15.28.150 Plan Review/Permits – Fees

For application in this City, Oregon Fire Code plan review fees shall be established by resolution of the City Council. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 12, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 2929, amended, 08/18/2006; Ord. 2921, amended, 01/05/2006; Ord. 2906, added, 04/06/2004)

15.28.160 Code Compliance Inspection/Fees

A. The City of Ashland will follow nationally referenced standards on fire prevention inspection and code enforcement as provided by the National Fire Protection Agency (NFPA 1730). This standard contains minimum requirements relating to the organization and deployment of fire prevention inspection and code enforcement, plan review, investigation, and public education operations. This standard also addresses the strategic and policy issues involving the organization and deployment of fire prevention programs and does not address methods for carrying out specific fire prevention services, activities, and programs.

B. The City of Ashland shall maintain a written statement or policy that establishes the following:

1. Existence of the FPO;
2. Services that the FPO will provide;
3. Basic organizational structure;
4. Expected number of FPO members;
5. Functions that FPO members are expected to perform.

C. *General Requirements.* Fire prevention inspection and code enforcement services, including department personnel, equipment, and all support and resources, shall be structured to meet the organizational objectives. Fire prevention inspection and code enforcement shall be conducted to ensure compliance with adopted codes and standards. Personnel responsible for fire prevention and code enforcement activities shall meet the job performance requirements in NFPA 1031 and the certification and training requirements for conducting fire code enforcement found in OAR [837-039-0016](#) for the inspection duties they perform.

D. *Minimum Inspection Frequency.* Existing occupancy fire prevention inspection and code enforcement inspection frequencies shall not be less than:

Occupancy Classification	Frequency of Inspections
High:	Annually
Moderate:	Biennially
Low:	Triennially
Critical Infrastructure:	Per the City of Ashland

The schedule for fire code compliance inspections shall be established by resolution of the City Council. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 13, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3161 § 8, amended, 02/05/2018; Ord. 2929, amended, 08/18/2006; Ord. 2921, amended, 01/05/2006; Ord. 2906, added, 04/06/2004)

15.28.170 Cost Recovery Fees

A. *Fire and Rescue Service Charges Imposed.*

1. Any person receiving direct fire and rescue services from AF&R as a result of a motor vehicle collision, a hazardous materials incident, a victim rescue or an occurrence on a railroad right-of-way or transportation route that requires AF&R service, shall be liable to the City for the direct and indirect costs incurred by the City in responding to the incident.

2. Whenever a fire is extinguished or attempted to be extinguished by AF&R outside the City of Ashland, the owner of the property involved in such fire shall be liable to the City for the direct and indirect costs of fire and rescue services incurred by the City in responding to the incident.

3. When more than one (1) person receives direct fire and rescue services from AF&R in a single incident, the general costs incurred may be apportioned pro rata among the recipients of the services not otherwise exempt from payment or among the parties involved in the incident, or through any other apportionment which reasonably allocates the costs of the benefits received.

B. Exemptions from Charges.

1. Except as provided in this section, a person liable for a charge imposed under AMC [15.28.170](#) shall be excused from paying the charge if the person presents satisfactory proof to the City that, at the time of the incident giving rise to the charge, the person was a resident of the City, owned real property within the City, or was the holder of a valid license from the City issued under AMC [6.04](#).

2. The exemptions of this section do not apply to:

- a. Drivers of vehicles under the influence of alcohol or drugs;
- b. Persons who commit acts of gross negligence or are otherwise in violation of local law or State statute;
- c. Persons causing incidents that require hazardous materials clean-up; or
- d. Fire extinguishment efforts by AF&R on property outside the City of Ashland.

C. Interest on Charge. Any charge imposed under this section shall be due to the City upon demand or billing by the City. Any person who fails to pay such charge within ninety (90) days of receipt of a bill from the City shall also pay interest on the charge from the date of the billing at the rate of 12 percent (12%) per year; interest for a fraction of a year shall be prorated.

D. Use of Payments Received. Fire and rescue service charges collected by the City shall be deposited in accounts designated for such payments. Funds in such accounts shall be expended only for operational costs of the Fire Department, Police Department, or the Public Works Department, to reimburse the City for costs of administering and collecting charges for fire and rescue services.

E. Failure to Pay Charge - Violation.

1. Any person who fails to pay a fire and rescue service charge within ninety (90) days of receipt of a bill from the City, or within such additional time as may be allowed by a written extension of time by the Fire Chief, is in violation of this code. The issuance and enforcement of a citation for this violation is governed by the provisions of AMC [1](#) and [15](#), and any other remedy provided by municipal or State law.

2. It shall be a defense in any proceeding that:

- a. The person did not receive fire or rescue services;

- b. The person is exempt from the payment of the charge; or
 - c. The charges were improperly computed and billed.
3. Failure to pay a fire and rescue service charge when due shall also subject the obligee to the general penalties for violation of City ordinances and any other remedy provided by municipal or State law.

F. *Appeal Procedures.* A person AF&R determines to be liable for fire and rescue services charges may appeal AF&R's determination as provided in AMC [2.30.020](#), Administrative Appeals Process. A person whose application for a permit for exemption from fire restrictions is denied by the Fire Code Official or who objects to fire inspection fees or fees imposed by the Fire Code Official for noncompliance with regulations in AMC [15.28](#) or the Oregon Fire Code may appeal the decision as provided in AMC [2.30.020](#), which appeal shall be decided in compliance with Appendix A of the Oregon Fire Code. (Ord. 3233, amended, 04/02/2024; Ord. 3218 § 14, amended, 04/04/2023; Ord. 3186, amended, 01/21/2020; Ord. 3081, amended, 04/02/2013)

Chapter 15.36

NUMBERING OF BUILDINGS

Sections:

- 15.36.010** **Numbering – Required – Generally**
- 15.36.020** **Numbering – Placement**
- 15.36.030** **Frontage Allowed**
- 15.36.040** **Numbering – Required – Time Limit**

15.36.010 **Numbering – Required – Generally**

All entrances from the public streets of the City to buildings shall be numbered as provided in this chapter. Numbers and letters shall meet all applicable premises identification requirements of Section 505 of the Oregon Fire Code. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 2712 § 9, amended, 1993; Ord. 331 § 1, amended, 1907)

15.36.020 **Numbering – Placement**

A. In all cases where a building is located on or back of the property line of the street on which the building fronts, the numbers may be placed either at the side of the main entrance of said buildings, over said main entrance, upon the porch or piazza, or said numbers may be placed over or at the side of the gateway of said property, or upon any steps or other structure near and back of the property line thereof, in such a manner that the same may be plainly seen from the street in front of said property.

B. Whenever houses are located back of the property line, said numbers shall be placed and maintained in such a manner that the same will not be hidden from view from the street by any trees, bushes, shrubs or other obstructions.

C. Where required by the Fire Code Official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole, or other sign or means shall be used to identify the structure. Address identification shall be maintained. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 331 § 2, amended, 1907)

15.36.030 Frontage Allowed

A. Twelve and one-half (12 1/2) feet frontage of all lots shall be allowed for each number only on such streets where so specified. The City Recorder shall assign the numbers on either side of the street as designated on the official map of the City, the consecutive even and uneven numbers being opposite each other as far as practicable, and shall furnish information on application of the number controlled by each lot.

B. Said numbers shall be at least four (4) inches high with a minimum stroke width of one-half (1/2) inch. (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 331 § 3, amended, 1907)

15.36.040 Numbering – Required – Time Limit

All owners, agents, occupants, lessees, tenants and subtenants of buildings which may hereafter be erected who have not provided such buildings with the proper numbers on or before fifteen (15) days after the completion of said buildings shall be subject to notification to do so in writing, at any time, by the City Engineer and if, within fifteen (15) days from the date of said notice, they neglect or refuse to do so, they are guilty of a misdemeanor and, upon conviction thereof, are punishable as prescribed in AMC [1.08.010](#). (Ord. 3238, amended, 06/18/2024; Ord. 2925, amended, 04/18/2006; Ord. 1810 (part), amended, 1974; Ord. 331 § 4, amended, 1907)

The Ashland Municipal Code is current through Ordinance 3243, passed September 17, 2024.

Disclaimer: The City Recorder's office has the official version of the Ashland Municipal Code. Users should contact the City Recorder's office for ordinances passed subsequent to the ordinance cited above.

[City Website: www.ashlandoregon.gov](http://www.ashlandoregon.gov)

[City Telephone: 541.488.5307](tel:541.488.5307)

[Hosted by General Code.](#)



CITY OF ASHLAND
BUILDING DIVISION
51 Winburn Way • Ashland, OR • (541) 488-5305

CORRECTION NOTICE
NOTICIA DE CORRECCION

No. _____
Page _____

If you do not understand this Notice, contact your Building Inspector and provide this Notice to your Superintendent.
Si no entiende esta Noticia debe ponerse en contacto con su Inspector y proveer esta Noticia a Superintendente.

THIS NOTICE MUST BE PRESENTED AT ALL INSPECTION OR PLANS EXAMINER INQUIRIES.
ESTA NOTICIA DEBE SER PRESENTADA EN TODAS INSPECCIONES O A LA OFFICINA DE PLANOS Y PERMISOS.

Date: _____ Permit No. _____
Owner: _____
Address: _____
Contractor: _____

Inspector: _____ No. _____

RESOLUTION

Inspector: _____ No. _____

Plans check Review By: _____ Date: _____

Date



Name

Street address

City, State

NOTICE OF NON-COMPLIANCE AND VIOLATION

Re: Non-Compliance and Building Code Violations, consisting of a (**structure or installation & sq. ftg.**) located at (**street address**), and more particularly described in Exhibit A attached hereto and made a part hereof by this reference.

Dear Mr./Mrs.

NOTICE AND ORDER pursuant to the City of Ashland Municipal Code Section 15.04.250 (Notice of Non-Compliance and Violation)

The City of Ashland Building Department, and its authorized representatives, having reasonable cause to believe that there existed in the buildings and structures or upon the premises described above, conditions contrary to, or in violation of, the Ashland Municipal Code, including the Ashland Building Code.

(1) The above-referenced Findings of Fact and Conclusions of Law are incorporated herein by this reference.

(2) Pursuant to the City of Ashland Municipal Code Section 15.04.250 (B) (Notice of Non-Compliance and Violation) you are provided an opportunity to be heard by written response to this notice within thirty (30) days of receipt of this notice. If response is not received within the time specified, the Building Official, upon determining that a violation of this chapter exists, shall have the authority to file a notice of non-compliance in the Jackson County Records office upon any property which contains a structure or is occupied in violation of this chapter.

(3) Whenever the violation for which the notice of non-compliance was filed is corrected, the Building Official shall, upon payment of the recording fee for the notice of non-compliance and the recording fee for the notice or correction of non-compliance shall specify that the violation has been corrected.

Done and Ordered this (day, month year).

Steven Matiaco, Building Official
City of Ashland



City of Ashland Building Division
51 Winburn Way • Ashland, OR 97520
(541) 488-5305 • Fax (541) 488-6006

Bill Molnar, Community Development Director

Date

Address
Ashland OR,97520

Permit #

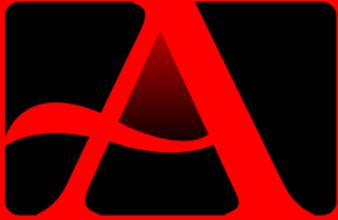
The project referenced above is in the plans examination process. The plans are being reviewed for compliance with City of Ashland ordinances and applicable codes. The comments that follow describe deficiencies and corrections, which must be addressed prior to completing the examination process and subsequent issuance of permits.

A written response along with applicable drawings and calculations must be provided for each of the items listed below to resume review. Please submit them electronically to the Building Division upon completion, building@ashland.or.us.

You may contact your plans examiner directly regarding any item on this letter at (541) 488-5305.

Review By: _____

Steven Matiaco
Building Official
Steven.matiaco@ashland.or.us



CITY OF ASHLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT
BUILDING DIVISION

STOP WORK ORDER (RED TAG)

Job Location: _____

You are hereby ordered to **STOP WORK IMMEDIATELY**

Until authorized by the Building Official to proceed.

The following violations are listed below:

DO NOT REMOVE THIS TAG !

DATE _____ TIME _____ INSPECTOR _____



CITY OF ASHLAND BUILDING DIVISION

51 Winburn Way, Ashland, OR 97520 • (541) 488-5305

Temporary Certificate of Occupancy Application

BUILDING PERMIT #: _____ DATE: _____

CONTRACTOR: _____ ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____ PHONE: _____

OWNER: _____ ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____ PHONE: _____

PROJECT NAME: _____ PROJECT ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____ PHONE: _____

DATE OF REQUESTED OCCUPANCY: _____ DATE OF PROJECT COMPLETION: _____

AREA(S) REQUESTED FOR OCCUPANCY: _____

REASON FOR REQUEST: _____

CONDITIONS OF WORK NOT COMPLETE: _____

1. City of Ashland Municipal Code 15.04.240 provides for issuance of a Temporary Certificate of Occupancy (TCO). The Building Official may, unless otherwise directed by the Planning Commission or City Council, release a Temporary Certificate of Occupancy and a temporary release of utilities before the installation and completion of such requirements, and provided the owner has posted a performance bond satisfactory to the City Administrator to insure the installation of said requirements within a specific time which must also be satisfactory to the City Administrator. Prior to the issuance of a TCO, a \$56.00 issuance fee must be paid along with any inspection fees.
2. The Building Division may suspend or revoke a TCO if it is determined it is in violation of any City of Ashland Municipal Code or Regulation.
3. **Prior to the expiration of the TCO, it is the responsibility of the Owner or Contractor to request required inspections for completion of permitted work. Acceptable final inspections are required by all applicable trades prior to issuance of a Certificate of Occupancy. If uncompleted work cannot be finished during the duration of the TCO, reapplication for a TCO is required.**
4. The TCO shall not be valid until acceptable inspections are completed, applicable fees paid, Certificate is signed by the Building Official, and the Certificate has been posted in the occupied area.

AS CONTRACTOR, I FULLY UNDERSTAND AND AGREE TO CONFORM TO THE PROVISIONS OF THIS APPLICATION AND ANY CONDITIONS ASSOCIATED WITH TCO APPROVAL.

(Print) _____ Telephone #: _____

Email: _____ Fax #: _____

(Sign) _____ Contractor Title Date

(Initial) _____ **This application is valid for 30 calendar days.**

If the TCO is not issued within 30 days, this application will be discarded and the applicant will be required to re-apply.

OFFICE USE	<u>RECORD STATUS AND SOURCE OF RELEASE</u>		
	_____ Planning Division	_____ Building Division	_____ Fire Department



CERTIFICATE OF OCCUPANCY

Permit #:

Zone:

Site Address:

Property Description:

Project Name:

Tenant Name:

Tenant #:

Owner Name:

Contractor Name:

State Lic. #:

Contractor Address:

Contractor Phone:

Parcel #:

of Units:

Code Year:

Automatic Sprinkler System: Yes No

Construction Type:

Occupancy:

Occupant Load:

Square Feet:

Building Final:

Issued Date:

Application Type:

Description of Work:

NOTICE TO APPLICANT

This structure is deemed to be in substantial compliance with fire, life safety, and structural provisions of the adopted codes of construction. Records concerning the construction of this building are on file with the Building Division in compliance with the appropriate records procedures.

This Certificate must be posted and maintained within any non-single family building or structure referenced above. Any construction to be done beyond the final building inspection date, above, requires a new building permit.

DATE APPROVED

STEVEN MATIACO, CBO
CITY OF ASHLAND BUILDING OFFICIAL



Building Safety Division

51 Winburn Way
Ashland, OR 97520
541.488.5305
www.ashland.or.us

Change of Use Certificate of Occupancy

Permit Number **BD-NR-2022-00000**

Job Address **???????????**

Property Owner **???????????**

Building Official **Steven Matiaco**

Code Edition **2019 OSSC**

New Occupancy Type **??**

Previous Occupancy Type **?**

Type of Construction **??**

Occupant Load **?? (Occupant load will be strictly enforced)**

Sprinkler System **??**

With the issuance of this certificate of occupancy, it is recognized that the building at the above listed address has been inspected and complies with the Oregon Residential Specialty Code and with the use and occupancy for which the proposed occupancy is classified. In addition, all of the criteria set forth by the Department of Community Development have also been met.

Date: _____

Steven Matiaco
Building Official, City of Ashland

CITY OF
ASHLAND
**Municipal Code Violation
Complaint Form**

The Community Development Department handles a wide variety of local municipal code compliance topics. Some specific types of compliance issues will be forwarded to other City Departments for their particular expertise, but coordination of the complaint and resolution will be through the Community Development Department.

Description of Complaint

Location of Potential Violation

Violator Information (Name, address, etc if known)

Complainant Information

Name _____ Contact Phone _____

Address _____ E-mail _____

Signature _____ Date _____

Please check box if you want this complaint to be kept as confidential as possible under existing law. The City will try to honor such a request, but please note that, depending on the circumstances, disclosure of the complaint could be required under laws governing public records or discovery in litigation. Please note also that maintaining the confidentiality of complainants can compromise efforts to cite and penalize violators.

Signature requesting confidentiality



Municipal Code Compliance Request Process

1. Receive compliant.
2. Investigate to determine if a violation exists.
3. If the complaint does not constitute a Municipal Code violation, the person filing the complaint will be notified and informed of the reason the situation does not constitute a violation.
4. If a violation does exist, the property owner or violator will be contacted and informed of the violation, what actions are needed to remedy the situation, and given a specific compliance deadline date.
5. On the compliance deadline date, Code Compliance Staff will verify that compliance has been attained. If this is found to be the case, the file will be closed.
6. If, upon re-inspection, the violation still exists, the property owner or violator will be contacted and again requested to comply. The second notice will include a date in which a citation may be issued if the problem has not been resolved.
7. After the citation deadline is reached, a site visit is made to determine if the matter has been corrected. If the violation still exists, a citation may be issued and the case information prepared for Municipal Court.

Due to the large volume of complaints processed, it is difficult to maintain up to date status reports to complainants. Please feel free to check in with the Compliance staff if you would like to find out the current status of a complaint.

Different types of complaints and violations have somewhat different timeframes for compliance based on a number of factors including public safety and ease of corrective activities required. The intent of the compliance process is to be as fair as possible to all parties involved and to ensure that the livability of our community is maintained through communication, education, and mutual respect.

The Municipal Code is available for reference on the City website at www.ashland.or.us. It is encouraged that citizens refer to the Municipal Code to provide a basis for a complaint, and if possible, communicate directly with the responsible party to the complaint in efforts of resolving the matter privately.

For questions regarding Code Compliance in Ashland, please contact Kevin Flynn at (541) 552-2424 or Kevin.Flynn@ashland.or.us.



APPENDIX G FLOOD-RESISTANT CONSTRUCTION

Appendix G is not adopted by the State of Oregon, Building Codes Division, as part of the *state building code*, consistent with the purpose and scope of application authorized in ORS 455.020.

Local *municipalities* are permitted to enact local ordinances for flood-resistant construction.

SECTION G101 ADMINISTRATION

G101.1 Purpose.

The purpose of this appendix is to promote the public health, safety and general welfare and to minimize public and private losses due to flood conditions in specific *flood hazard areas* through the establishment of comprehensive regulations for management of *flood hazard areas* designed to:

1. Prevent unnecessary disruption of commerce, access and public service during times of flooding.
2. Manage the alteration of natural flood plains, stream channels and shorelines.
3. Manage filling, grading, dredging and other development that may increase flood damage or erosion potential.
4. Prevent or regulate the construction of flood barriers that will divert floodwaters or that can increase flood hazards.
5. Contribute to improved construction techniques in the flood plain.

G101.2 Objectives.

The objectives of this appendix are to protect human life, minimize the expenditure of public money for flood control projects, minimize the need for rescue and relief efforts associated with flooding, minimize prolonged business interruption, minimize damage to public facilities and utilities, help maintain a stable tax base by providing for the sound use and development of flood-prone areas, contribute to improved construction techniques in the flood plain and ensure that potential owners and occupants are notified that property is within *flood hazard areas*.

G101.3 Scope.

The provisions of this appendix shall apply to all proposed development in a *flood hazard area* established in Section 1612 of this code, including certain building work exempt from permit under Section 105.2.

G101.4 Violations.

Any violation of a provision of this appendix, or failure to comply with a *permit* or variance issued pursuant to this appendix or any requirement of this appendix, shall be handled in accordance with Section 114.

SECTION G102 APPLICABILITY

G102.1 General.

This appendix, in conjunction with this code, provides minimum requirements for development located in flood hazard areas, including:

1. The subdivision of land.
2. Site improvements and installation of utilities.
3. Placement and replacement of manufactured homes.
4. Placement of recreational vehicles.
5. New construction and repair, reconstruction, rehabilitation or additions to new construction.
6. Substantial improvement of existing buildings and structures, including restoration after damage.
7. Installation of tanks.
8. Temporary structures.
9. Temporary or permanent storage, utility and miscellaneous Group U buildings and structures.
10. Certain building work exempt from permit under Section 105.2 and other buildings and development activities.

G102.2 Establishment of flood hazard areas.

Flood hazard areas are established in Section 1612.3 of this code, adopted by the applicable governing authority on [INSERT DATE].

SECTION G103 POWERS AND DUTIES

G103.1 Permit applications.

All applications for permits must comply with the following:

1. The *building official* shall review all *permit* applications to determine whether proposed development is located in *flood hazard areas* established in Section G102.2.
2. Where a proposed development site is in a *flood hazard area*, all development to which this appendix is applicable as specified in Section G102.1 shall be designed and constructed with methods, practices and materials that minimize *flood* damage and that are in accordance with this code and ASCE 24.

G103.2 Other permits.

It shall be the responsibility of the *building official* to ensure that approval of a proposed development shall not be given until proof that necessary permits have been granted by federal or state agencies having jurisdiction over such development.

G103.3 Determination of design flood elevations.

If design flood elevations are not specified, the *building official* is authorized to require the applicant to meet one of the following:

1. Obtain, review and reasonably utilize data available from a federal, state or other source.
2. Determine the design flood elevation in accordance with accepted hydrologic and hydraulic engineering techniques. Such analyses shall be performed and sealed by a *registered design professional*. Studies, analyses and computations shall be submitted in sufficient detail to allow review and approval by the *building official*. The accuracy of data submitted for such determination shall be the responsibility of the applicant.

G103.4 Activities in riverine flood hazard areas.

In riverine *flood hazard areas* where design flood elevations are specified but *floodways* have not been designated, the *building official* shall not permit any new construction, substantial improvement or other development, including fill, unless the applicant submits an engineering analysis prepared by a *registered design professional*, demonstrating that the cumulative effect of the proposed development, when combined with all other existing and anticipated *flood hazard area* encroachment, will not increase the design flood elevation more than 1 foot (305 mm) at any point within the community.

G103.5 Floodway encroachment.

Prior to issuing a *permit* for any *floodway* encroachment, including fill, new construction, substantial improvements and other development or land-disturbing activity, the *building official* shall require submission of a certification prepared by a *registered design professional*, along with supporting technical data, demonstrating that such development will not cause any increase of the base flood level.

G103.5.1 Floodway revisions.

A *floodway* encroachment that increases the level of the base flood is authorized if the applicant has applied for a conditional Flood Insurance Rate Map (FIRM) revision and has received the approval of the Federal Emergency Management Agency (FEMA).

G103.6 Watercourse alteration.

Prior to issuing a *permit* for any alteration or relocation of any watercourse, the *building official* shall require the applicant to provide notification of the proposal to the appropriate authorities of all adjacent government jurisdictions, as well as appropriate state agencies. A copy of the notification shall be maintained in the permit records and submitted to FEMA.

G103.6.1 Engineering analysis.

The *building official* shall require submission of an engineering analysis, prepared by a *registered design professional*, demonstrating that the flood-carrying capacity of the altered or relocated portion of the watercourse will not be decreased. Such watercourses shall be maintained in a manner that preserves the channel's flood-carrying capacity.

G103.7 Alterations in coastal areas.

Prior to issuing a *permit* for any alteration of sand dunes and mangrove stands in coastal high-hazard areas and coastal A zones, the *building official* shall require submission of an engineering analysis, prepared by a *registered design professional*, demonstrating that the proposed alteration will not increase the potential for flood damage.

G103.8 Records.

The *building official* shall maintain a permanent record of all *permits* issued in *flood hazard areas*, including supporting certifications and documentation required by this appendix and copies of inspection reports, design certifications and documentation of elevations required in Section 1612 of this code and Section R322 of the

G103.9 Inspections.

Development for which a *permit* under this appendix is required shall be subject to inspection. The *building official* or the *building official's* designee shall make, or cause to be made, inspections of all development in *flood hazard areas* authorized by issuance of a *permit* under this appendix.

**SECTION G104
PERMITS**

G104.1 Required.

Any person, owner or owner's authorized agent who intends to conduct any development in a *flood hazard area* shall first make application to the *building official* and shall obtain the required *permit*.

G104.2 Application for permit.

The applicant shall file an application in writing on a form furnished by the *building official*. Such application shall:

1. Identify and describe the development to be covered by the *permit*.
2. Describe the land on which the proposed development is to be conducted by legal description, street address or similar description that will readily identify and definitely locate the site.
3. Include a site plan showing the delineation of *flood hazard areas*, *floodway* boundaries, flood zones, design flood elevations, ground elevations, proposed fill and excavation and drainage patterns and facilities.
4. Include in subdivision proposals and other proposed developments with more than 50 lots or larger than 5 acres (20 234 m²), base flood elevation data in accordance with Section 1612.3 if such data are not identified for the *flood hazard areas* established in Section G102.2.
5. Indicate the use and occupancy for which the proposed development is intended.
6. Be accompanied by construction documents, grading and filling plans and other information deemed appropriate by the *building official*.
7. State the valuation of the proposed work.
8. Be signed by the applicant or the applicant's authorized agent.

G104.3 Validity of permit.

The issuance of a *permit* under this appendix shall not be construed to be a *permit* for, or approval of, any violation of this appendix or any other ordinance of the jurisdiction. The issuance of a *permit* based on submitted documents and information shall not prevent the *building official* from requiring the correction of errors. The *building official* is authorized to prevent occupancy or use of a structure or site that is in violation of this appendix or other ordinances of this jurisdiction.

G104.4 Expiration.

A *permit* shall become invalid if the proposed development is not commenced within 180 days after its issuance, or if the work authorized is suspended or abandoned for a period of 180 days after the work commences. Extensions shall be requested in writing and justifiable cause demonstrated. The *building official* is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each.

G104.5 Suspension or revocation.

The *building official* is authorized to suspend or revoke a *permit* issued under this appendix wherever the *permit* is issued in error or on the basis of incorrect, inaccurate or incomplete information, or in violation of any ordinance or code of this jurisdiction.

SECTION G105 VARIANCES

G105.1 General.

The *board of appeals* established pursuant to Section 113 shall hear and decide requests for variances. The *board of appeals* shall base its determination on technical justifications, and has the right to attach such conditions to variances as it deems necessary to further the purposes and objectives of this appendix and Section 1612.

G105.2 Records.

The *building official* shall maintain a permanent record of all variance actions, including justification for their issuance.

G105.3 Historic structures.

A variance is authorized to be issued for the repair or rehabilitation of a historic structure upon a determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure, and the variance is the minimum necessary to preserve the historic character and design of the structure.

Exception: Within *flood hazard areas*, *historic structures* that do not meet one or more of the following designations:

1. Listed or preliminarily determined to be eligible for listing in the National Register of Historic Places.
2. Determined by the Secretary of the U.S. Department of Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined to qualify as an historic district.
3. Designated as *historic* under a state or local historic preservation program that is approved by the Department of Interior.

G105.4 Functionally dependent facilities.

A variance is authorized to be issued for the construction or substantial improvement of a functionally dependent facility provided that the criteria in Section 1612.1 are met and the variance is the minimum necessary to allow the construction or substantial improvement, and that all due consideration has been given to methods and materials that minimize flood damages during the design flood and do not create additional threats to public safety.

G105.5 Restrictions.

The *board of appeals* shall not issue a variance for any proposed development in a floodway if any increase in flood levels would result during the base flood discharge.

G105.6 Considerations.

In reviewing applications for variances, the *board of appeals* shall consider all technical evaluations, all relevant factors, all other portions of this appendix and the following:

1. The danger that materials and debris may be swept onto other lands resulting in further injury or damage.
2. The danger to life and property due to flooding or erosion damage.
3. The susceptibility of the proposed development, including contents, to flood damage and the effect of such damage on current and future owners.
4. The importance of the services provided by the proposed development to the community.
5. The availability of alternate locations for the proposed development that are not subject to flooding or erosion.
6. The compatibility of the proposed development with existing and anticipated development.
7. The relationship of the proposed development to the comprehensive plan and flood plain management program for that area.
8. The safety of access to the property in times of flood for ordinary and emergency vehicles.
9. The expected heights, velocity, duration, rate of rise and debris and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site.
10. The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, streets and bridges.

G105.7 Conditions for issuance.

Variances shall only be issued by the *board of appeals* where all of the following criteria are met:

1. A technical showing of good and sufficient cause that the unique characteristics of the size, configuration or topography of the site renders the elevation standards inappropriate.
2. A determination that failure to grant the variance would result in exceptional hardship by rendering the lot undevelopable.
3. A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws or ordinances.
4. A determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.
5. Notification to the applicant in writing over the signature of the building official that the issuance of a variance to construct a structure below the base flood level will result in increased premium rates for flood insurance up to amounts as high as \$25 for \$100 of insurance coverage, and that such construction below the base flood level increases risks to life and property.

SECTION G201 DEFINITIONS

G201.1 General.

The following words and terms shall, for the purposes of this appendix, have the meanings shown herein. Refer to Chapter 2 of this code for general definitions.

G201.2 Definitions.

DEVELOPMENT. Any man-made change to improved or unimproved real estate, including but not limited to, buildings or other structures, temporary structures, temporary or permanent storage of materials, mining, dredging, filling, grading, paving, excavations, operations and other land-disturbing activities.

FUNCTIONALLY DEPENDENT FACILITY. A facility that cannot be used for its intended purpose unless it is located or carried out in close proximity to water, such as a docking or port facility necessary for the loading or unloading of cargo or passengers, shipbuilding or ship repair. The term does not include long-term storage, manufacture, sales or service facilities.

MANUFACTURED HOME. A structure that is transportable in one or more sections, built on a permanent chassis, designed for use with or without a permanent foundation when attached to the required utilities, and constructed to the Federal Mobile Home Construction and Safety Standards and rules and regulations promulgated by the U.S. Department of Housing and Urban Development. The term also includes mobile homes, park trailers, travel trailers and similar transportable structures that are placed on a site for 180 consecutive days or longer.

MANUFACTURED HOME PARK OR SUBDIVISION. A parcel (or contiguous parcels) of land divided into two or more manufactured home lots for rent or sale.

RECREATIONAL VEHICLE. A vehicle that is built on a single chassis, 400 square feet (37.16 m²) or less when measured at the largest horizontal projection, designed to be selfpropelled or permanently towable by a light-duty truck, and designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel or seasonal use. A recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect-type utilities and security devices and has no permanently attached additions.

VARIANCE. A grant of relief from the requirements of this section that permits construction in a manner otherwise prohibited by this section where specific enforcement would result in unnecessary hardship.

VIOLATION. A development that is not fully compliant with this appendix or Section 1612, as applicable.

SECTION G301 SUBDIVISIONS

G301.1 General.

Any subdivision proposal, including proposals for manufactured home parks and subdivisions, or other proposed new development in a flood hazard area shall be reviewed to verify all of the following:

1. Such proposals are consistent with the need to minimize flood damage.
2. Public utilities and facilities, such as sewer, gas, electric and water systems, are located and constructed to minimize or eliminate flood damage.
3. Adequate drainage is provided to reduce exposure to flood hazards.

G301.2 Subdivision requirements.

The following requirements shall apply in the case of any proposed subdivision, including proposals for manufactured home parks and subdivisions, any portion of which lies within a *flood hazard area*:

1. The *flood hazard area*, including *floodways*, coastal high-hazard areas and coastal A zones, a

2. Design flood elevations shall be shown on tentative and final subdivision plats.
3. Residential building lots shall be provided with adequate buildable area outside the *floodway*.
4. The design criteria for utilities and facilities set forth in this appendix and appropriate International Codes shall be met.

SECTION G401 SITE IMPROVEMENT

G401.1 Development in floodways.

Development or land-disturbing activity shall not be authorized in the *floodway* unless it has been demonstrated through hydrologic and hydraulic analyses performed in accordance with standard engineering practice, and prepared by a *registered design professional*, that the proposed encroachment will not result in any increase in the base flood level.

G401.2 Coastal high-hazard areas and coastal A zones.

In coastal high-hazard areas and coastal A zones:

1. New buildings and buildings that are substantially improved shall only be authorized landward of the reach of mean high tide.
2. The use of fill for structural support of buildings is prohibited.

G401.3 Sewer facilities.

All new or replaced sanitary sewer facilities, private sewage treatment plants (including all pumping stations and collector systems) and on-site waste disposal systems shall be designed in accordance with Chapter 7, ASCE 24, to minimize or eliminate infiltration of floodwaters into the facilities and discharge from the facilities into floodwaters, or impairment of the facilities and systems.

G401.4 Water facilities.

All new or replacement water facilities shall be designed in accordance with the provisions of Chapter 7, ASCE 24, to minimize or eliminate infiltration of floodwaters into the systems.

G401.5 Storm drainage.

Storm drainage shall be designed to convey the flow of surface waters to minimize or eliminate damage to persons or property.

G401.6 Streets and sidewalks.

Streets and sidewalks shall be designed to minimize potential for increasing or aggravating flood levels.

SECTION G501 MANUFACTURED HOMES

G501.1 Elevation.

All new and replacement manufactured homes to be placed or substantially improved in a *flood hazard area* shall

be elevated such that the lowest floor of the manufactured home is elevated to or above the design flood elevation.

G501.2 Foundations.

All new and replacement manufactured homes, including substantial improvement of existing manufactured homes, shall be placed on a permanent, reinforced foundation that is designed in accordance with Section R322 of the *International Residential Code*.

G501.3 Anchoring.

All new and replacement manufactured homes to be placed or substantially improved in a *flood hazard area* shall be installed using methods and practices that minimize flood damage. Manufactured homes shall be securely anchored to an adequately anchored foundation system to resist flotation, collapse and lateral movement. Methods of anchoring are authorized to include, but are not limited to, use of over-the-top or frame ties to ground anchors. This requirement is in addition to applicable state and local anchoring requirements for resisting wind forces.



G501.4 Protection of mechanical equipment and outside appliances.

Mechanical equipment and outside appliances shall be elevated to or above the *design flood elevation*.

Exception: Where such equipment and appliances are designed and installed to prevent water from entering or accumulating within their components and the systems are constructed to resist hydrostatic and hydrodynamic loads and stresses, including the effects of buoyancy, during the occurrence of flooding up to the elevation required by Section R322 of the *International Residential Code*, the systems and equipment shall be permitted to be located below the elevation required by Section R322 of the *International Residential Code*. Electrical wiring systems shall be permitted below the *design flood elevation* provided that they conform to the provisions of NFPA 70.

G501.5 Enclosures.

Fully enclosed areas below elevated manufactured homes shall comply with the requirements of Section R322 of the *International Residential Code*.



SECTION G601 RECREATIONAL VEHICLES

G601.1 Placement prohibited.

The placement of recreational vehicles shall not be authorized in coastal high-hazard areas and in *floodways*.

G601.2 Temporary placement.

Recreational vehicles in *flood hazard areas* shall be fully licensed and ready for [highway use, or shall be placed on a site for less than 180 consecutive](#) days.

G601.3 Permanent placement.

Recreational vehicles that are not fully licensed and ready for highway use, or that are to be placed on a site for more than 180 consecutive days, shall meet the requirements of Section G501 for manufactured homes.



SECTION G701 TANKS

G701.1 Tanks.

Underground and above-ground tanks shall be designed, constructed, installed and anchored in accordance with ASCE 24.

SECTION G801 OTHER BUILDING WORK

G801.1 Garages and accessory structures.

Garages and accessory structures shall be designed and constructed in accordance with ASCE 24.



G801.2 Fences.

Fences in floodways that have the potential to block the passage of floodwaters, such as stockade fences and wire mesh fences, shall meet the requirement of Section G103.5.

G801.3 Oil derricks.

Oil derricks located in *flood hazard areas* shall be designed in conformance with the flood loads in Section 1612.

G801.4 Retaining walls, sidewalks and driveways.

Retaining walls, sidewalks and driveways shall meet the requirements of Section 1804.5.

G801.5 Swimming pools.

Swimming pools shall be designed and constructed in accordance with ASCE 24. Above-ground swimming pools, on-ground swimming pools and in-ground swimming pools that involve placement of fill in *floodways* shall also meet the requirements of Section G103.5.



G801.6 Decks, porches, and patios.

Decks, porches and patios shall be designed and constructed in accordance with ASCE 24.

G801.7 Nonstructural concrete slabs in coastal high-hazard areas and coastal A zones.

In coastal high-hazard areas and coastal A zones, nonstructural concrete slabs used as parking pads, enclosure floors, landings, decks, walkways, patios and similar nonstructural uses are permitted beneath or adjacent to buildings and structures provided that the concrete slabs shall be constructed in accordance with ASCE 24.

G801.8 Roads and watercourse crossings in regulated floodways.

Roads and watercourse crossings that encroach into regulated *floodways*, including roads, bridges, culverts, low-water crossings and similar means for vehicles or pedestrians to travel from one side of a watercourse to the other, shall meet the requirement of Section G103.5.



SECTION G901

TEMPORARY STRUCTURES AND TEMPORARY STORAGE

G901.1 Temporary structures.

Temporary structures shall be erected for a period of less than 180 days. Temporary structures shall be anchored to prevent flotation, collapse or lateral movement resulting from hydrostatic loads, including the effects of buoyancy, during conditions of the design flood. Fully enclosed temporary structures shall have flood openings that are in accordance with ASCE 24 to allow for the automatic entry and exit of floodwaters.

G901.2 Temporary storage.

Temporary storage includes storage of goods and materials for a period of less than 180 days. Stored materials shall not include hazardous materials.

G901.3 Floodway encroachment.

Temporary structures and temporary storage in floodways shall meet the requirements of G103.5.

SECTION G1001 UTILITY AND MISCELLANEOUS GROUP U

G1001.1 Utility and miscellaneous Group U.

Utility and miscellaneous Group U includes buildings that are accessory in character and miscellaneous structures not classified in any specific occupancy in this code, including, but not limited to, agricultural buildings, aircraft hangars (accessory to a one- or two-family residence), barns, carports, fences more than 6 feet (1829 mm) high, grain silos (accessory to a residential occupancy), greenhouses, livestock shelters, private garages, retaining walls, sheds, stables and towers.

G1001.2 Flood loads.

Utility and miscellaneous Group U buildings and structures, including substantial improvement of such buildings and structures, shall be anchored to prevent flotation, collapse or lateral movement resulting from flood loads, including the effects of buoyancy, during conditions of the design flood.

G1001.3 Elevation.

Utility and miscellaneous Group U buildings and structures, including substantial improvement of such buildings and structures, shall be elevated such that the lowest floor, including basement, is elevated to or above the design flood elevation in accordance with Section 1612 of this code.

G1001.4 Enclosures below design flood elevation.

Fully enclosed areas below the design flood elevation shall be constructed in accordance with ASCE 24.

G1001.5 Flood-damage-resistant materials.

Flood-damage-resistant materials shall be used below the design flood elevation.

G1001.6 Protection of mechanical, plumbing and electrical systems.

Mechanical, plumbing and electrical systems, including plumbing fixtures, shall be elevated to or above the design flood elevation.

Exception: Electrical systems, equipment and components; heating, ventilating, air conditioning and plumbing appliances; plumbing fixtures, duct systems and other service equipment shall be permitted to be located below the design flood elevation provided that they are designed and installed to prevent water from entering or accumulating within the components and to resist hydrostatic and hydrodynamic loads and stresses, including the effects of buoyancy, during the occurrence of flooding to the design flood elevation in compliance with the flood-resistant construction requirements of this code. Electrical wiring systems shall be permitted to be located below the design flood elevation provided that they conform to the provisions of NFPA 70.

**SECTION G1101
REFERENCED STANDARDS**

ASCE 24—14	Flood Resistant Design and Construction	G103.1, G401.3, G401.4, G701.1, G801.1, G801.5, G801.6, G801.7, G901.1, G1001.4
HUD 24 CFR Part 3280 (2008)	Manufactured Home Construction and Safety Standards	G201
IBC—18	<i>International Building Code</i>	G102.2, G1001.1, G1001.3
IRC—18	<i>International Residential Code</i>	G501.2, G501.4, G501.5
NFPA 70—17	<i>National Electrical Code</i>	G501.4, G1001.6



CITY OF ASHLAND BUILDING DIVISION
 51 Winburn Way, Ashland, OR, 97520
 (541) 488-5305
Building@ashland.or.us

Commercial Building Permit Submittal Form

Location:		Date:
Description of Project:		
Total Project Valuation: <i>See Determination of Valuation Policy for additional information</i>		\$
Mechanical Valuation:		\$
Type: <input type="checkbox"/> Multi-Family Residential <input type="checkbox"/> Mixed Use Bld. <input type="checkbox"/> Commercial Bld. <input type="checkbox"/> Commercial Addition <input type="checkbox"/> Tenant Improvement <input type="checkbox"/> Common Area <input type="checkbox"/> Structural/Roof <input type="checkbox"/> Change of Use/Occupancy <input type="checkbox"/> Other: _____		
APPLICANT INFORMATION:		
Name:		
Address:		
City:	State:	ZIP:
Phone:	Email:	
PROPERTY OWNER INFORMATION:		
Name:		
Address:		
City:	State:	ZIP:
Phone:	Email:	
CONTRACTOR INFORMATION:		
Name:		
Address:		
City:	State:	ZIP:
Phone:	Email:	
Ashland Business License #		CCB#
ARCHITECT/ENGINEER/DESIGN PROFESSIONAL INFORMATION:		
Name:		
Address:		
City:	State:	ZIP:
Phone:	Email:	

SUBMITTAL CHECKLIST:

YES	NO	N/A	GENERAL INFORMATION:
			PDF of Digital Plans - Submit to Building@ashland.or.us <i>Plans must be drawn to scale, minimum 11x17 inches in size, and legible.</i> <i>If files are too large to email, please call #541-488-5305 to request access to our digital DropBox</i>
			Design Professional, Architect and/or Engineer(s) name, phone, and Email
			Name, Address, Phone and Email of all owners and contractors (include license #s)
			Signed statement of consent from Property Owner
			List Design Criteria and supporting calculations for all Structural components of project as required by Ch. 16 OSSC and ASCE-7
			Provide a Code Analysis and include the following information: <input type="checkbox"/> Construction type <input type="checkbox"/> Existing and proposed Occupancy types <input type="checkbox"/> Occupant loads and supporting calculations <input type="checkbox"/> Means of Egress sizing and supporting calculations including the path of the exit discharge to the public way <input type="checkbox"/> Number of required exits based on occupant loads and travel distances <input type="checkbox"/> Allowable areas and supporting documentation
			Gross Square Footage
			Does this project require a design professional (Architect, or Engineer, licensed through the State of Oregon)? <input type="checkbox"/> YES <input type="checkbox"/> NO <i>*See When is an Architect/Engineer Required handout for additional information</i>
			Complete Special Inspection Agreement Form
			Existing Building Form
			Any conditions imposed as part of an approved planning action shall be shown
			PLOT PLAN:
			Show all Proposed and Existing Buildings
			Total Square Footage of Impervious Surface
			Direction Indicator (north arrow)
			Easement Locations (private/public) and maintenance agreements for common areas
			Show distances between Property Lines and Buildings <i>See Property Pin Policy for additional information</i>
			Location of storm drains, sanitary sewer, water service connection, and electric service panel
			Show point of termination for footing, roof, and storm drains (Street or approved disposal site)
			Show Contour Lines (topography)
			Basement and Retaining Walls (cross sections and details or attached engineering)
			Provide calculations for all structural loads (include member reports)
			FOUNDATION PLAN:
			Elevation of footing and foundation details (including hold downs and their locations)
			FLOOR PLAN:
			Show each floor and use of all rooms and areas
			If Remodel or Addition, provide existing and proposed Floor Plans
			Provide bracing design, prescriptive and/or engineered
			CROSS SECTION & DETAILS
			Show all materials that make up the assemblies for roof, wall, ceilings, floors, and projections, including flashing and finishes

YES	NO	N/A	ELEVATIONS:
			Show all sides of building and identify as North, South, East, and West
			Provide Solar Calculations
			ROOF PLAN:
			Engineered Trusses
			Deferred Trusses (<i>Include on Deferred Submittal Form</i>)
			Stick Frame
			FIRE PLAN:
			Fire Protection system shop drawings for Fire Alarms, and Sprinklers per OSSC 107.2.2
			Deferred Fire Protection System Shop Drawings for Fire Alarms and Sprinklers (<i>Include on Deferred Submittal Form</i>)
			ELECTRICAL PLAN:
			One-line drawings, panel schedules, and load calculations
			MECHANICAL PLAN:
			Mechanical Valuation (labor, materials, overhead & profit whether paid for or not)
			Provide schedule of all heating, ventilation, and A/C equipment and location of each
			Gas line schematic diagram with BTU requirements for each fixture (appliance)
			PLUMBING PLAN:
			Show riser diagram with all pipe sizes for DWV system and water supply system
			Show backflow devices
			Description of each plumbing fixture being replaced, relocated, or added
			DRAINAGE SYSTEM:
			Show spot elevations to determine direction of runoff to storm sewer
			LANDSCAPE SYSTEM:
			Include sprinkler and low voltage electrical
			ENERGY COMcheck FORMS
			Provide complete and signed COMcheck forms under the current State of Oregon adopted Energy Standards for each of the building elements listed below: <input type="checkbox"/> Building Envelope <input type="checkbox"/> Mechanical <input type="checkbox"/> Lighting
			EXCAVATION PERMIT REQUIREMENTS:
			Location of retaining walls and corresponding engineering
			Topography of site
			Easement/Rights of Way – Label roads and utility locations
			PW Permit with City Engineer Signature
			Electric utility distribution plan with stamp
			Preliminary Plat
			Engineering grading plan (show elevations for cuts and fills with total cubic yardage)
			Soils report

Applicant's Signature: _____ Date: _____



Address: 51 Winburn Way, Ashland OR 97520
Phone: 541-488-5305 Fax: 541-488-6006
Web: www.ashland.or.us

ELECTRICAL PERMIT APPLICATION

Permit #: BD -

Date: _____

This permit is issued under OAR 918-460-0030. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

LOCAL GOVERNMENT APPROVAL		
Zoning approval verified? <input type="checkbox"/> Yes <input type="checkbox"/> No		
CATEGORY OF CONSTRUCTION		
<input type="checkbox"/> Residential	<input type="checkbox"/> Government	<input type="checkbox"/> Commercial
JOB SITE INFORMATION AND LOCATION		
Job site address:		
City:	State:	ZIP:
Subdivision:	Lot no.:	
DESCRIPTION OF WORK		
PROPERTY OWNER		
Name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
If this is a property owner installation on residential or farm property owned by me or a member of my immediate family, I certify that this property is not intended for sale, exchange, lease, or rent. OAR 479.540(1) and 479.560(1).		
Signature: _____		
CONTRACTOR		
Business name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
CCB license no.:	BCD license no.:	
City of Ashland license no.:		
Signing supervisor's license no.:		
Print name of signing supervisor:		
Signature of signing supervisor: _____		
<input type="checkbox"/> Visa <input type="checkbox"/> MasterCard	Phone: - -	
Credit card number		Expiration
Name of cardholder as shown on credit card		\$
Cardholder signature		Amount

FEE SCHEDULE			
Number of inspections per item ()	Qty.	Cost ea.	Total cost
Residential, per unit, service included:			
1,000 sq. ft. or less (4)		\$135	\$
Each additional 500 sq. ft. or portion thereof		\$25	\$
Limited energy		\$32	\$
Each manufactured home or modular dwelling service or feeder (2)		\$50	\$
Multifamily residential (1)		\$65	\$
Services or feeders: installation, alteration, relocation			
200 amps or less (2)		\$95	\$
201 to 400 amps (2)		\$115	\$
401 to 600 amps (2)		\$190	\$
601 to 1,000 amps (2)		\$250	\$
Over 1,000 amps or volts (2)		\$550	\$
Reconnect only (2)		\$75	\$
Temporary services or feeders: installation, alteration, relocation			
200 amps or less (2)		\$75	\$
201 to 400 amps (2)		\$100	\$
401 to 600 amps (2)		\$150	\$
Over 600 amps or 1,000 volts, see services or feeders section above			
Branch circuits: new, alteration, extension per panel			
a. Fee for branch circuits with purchase of a service or feeder fee:			
Each branch circuit		\$6	\$
b. Fee for branch circuits without purchase of a service or feeder fee:			
First branch circuit (2)		\$65	\$
Each additional branch circuit		\$7.50	\$
Miscellaneous fees: service or feeder not included			
Each pump or irrigation circle (2)		\$65	\$
Each sign or outline lighting (2)		\$65	\$
Signal circuit or a limited-energy panel, alteration, or extension (2)		\$65	\$
Hourly rate (no. of hrs. x fee per hr.)		\$90	\$
Each additional inspection: (1)		\$90	\$
APPLICANT USE			
(A) Enter subtotal of above fees		\$	
(B) Enter 12% surcharge (.12 x [A])		\$	
(C) Plan review, if required (% of [A])		\$	
TOTAL fees and surcharges (A through C):		\$	



City of Ashland
Building Safety Department

Address: 51 Winburn Way, Ashland OR 97520
 Phone: 541-488-5305 Fax: 541-488-6006
 Web: www.ashland.or.us

**RESTRICTED ENERGY ELECTRICAL
PERMIT APPLICATION**

Permit #: BD - _____

Date: _____

This permit is issued under OAR 918-460-0030. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

LOCAL GOVERNMENT APPROVAL		
Zoning approval verified: <input type="checkbox"/> Yes <input type="checkbox"/> No		
CATEGORY OF CONSTRUCTION		
<input type="checkbox"/> Residential	<input type="checkbox"/> Government	<input type="checkbox"/> Commercial
JOB SITE INFORMATION AND LOCATION		
Job site address:		
City:	State:	ZIP:
Project name:		
Subdivision:	Lot no.:	
PROPERTY OWNER INSTALLATION		
Name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
This installation is being made on residential or farm property owned by me or a member of my immediate family. This property is not intended for sale, exchange, lease, or rent. (ORS 479.540(1) and 479.560(1))		
Sign here:		
CONTRACTOR INSTALLATION		
Business name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
CCB license no.:	BCD license no.:	
Signing supervisor's license number:		
Print name of signing supervisor:		
Signature of signing supervisor:		

FEE SCHEDULE	
A. Fee for all systems (includes two inspections):	\$ 25
Check type of work involved:	
<input type="checkbox"/> Audio and stereo systems	
<input type="checkbox"/> Data telecommunications	
<input type="checkbox"/> Doorbell	
<input type="checkbox"/> Garage-door opener	
<input type="checkbox"/> Heating, ventilation, and air-conditioning systems	
<input type="checkbox"/> Landscape lighting and sprinkler controls	
<input type="checkbox"/> Landscape irrigation controls*	
<input type="checkbox"/> Outdoor landscape lighting*	
<input type="checkbox"/> Vacuum systems	
<input type="checkbox"/> Other:	
Number of systems:	
B. Each additional inspection:	\$ 90 per hr.
* Exception: BCD license is required unless work is done by a licensed landscape contractor, ORS 671.510 to 671.710.	
APPLICANT USE	
C. Enter total of above fees (A+B):	\$
D. Enter 12% surcharge (.12 x [C]):	\$
E. Plan review, if required, (% x [C]):	\$
TOTAL fees and surcharges (C through E):	\$

CREDIT CARD INFORMATION	
<input type="checkbox"/> Visa <input type="checkbox"/> MasterCard <input type="checkbox"/> Discover	Phone: - -
Credit card number	Expiration
Name of cardholder as shown on credit card	\$
Cardholder signature	Amount



City of Ashland

Building Safety Department

Address: 51 Winburn Way, Ashland OR 97520

Phone: 541-488-5305 Fax: 541-488-6006

Web: www.ashland.or.us

MECHANICAL PERMIT APPLICATION

Permit #: BD -

Date:

This permit is issued under OAR 918-460-0030. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

CATEGORY OF CONSTRUCTION		
<input type="checkbox"/> Residential	<input type="checkbox"/> Government	<input type="checkbox"/> Commercial
JOB SITE INFORMATION AND LOCATION		
Job site address:		
City:	State:	ZIP:
Subdivision:		Lot no.:
DESCRIPTION OF WORK		
PROPERTY OWNER		
Name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
This property owner installation is being made on property owned by me or a member of my immediate family, and is exempt from licensing requirements under ORS 701.010.		
Signature:		
CONTRACTOR INSTALLATION		
Business name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
CCB license no.:		
City of Ashland license no.:		
Print name:		
Signature:		

CREDIT CARD INFORMATION	
<input type="checkbox"/> Visa <input type="checkbox"/> MasterCard <input type="checkbox"/> Discover	Phone: - -
_____ / _____	
Credit card number	Expiration
Name of cardholder as shown on credit card	
_____ \$ _____	
Cardholder signature	Amount

FEE SCHEDULE			
Residential	Qty.	Cost ea.	Total cost
Mechanical permit Minimum Fee		\$75	\$
Supplemental fee		N/A	\$
Furnace/burner including ducts and vents			
Up to 100k BTU/hr.		\$20	\$
Over 100k BTU/hr.		\$20	\$
Heaters/stoves/vents			
Unit heater		\$20	\$
Wood/pellet/gas stove/flue		\$20	\$
Repair/alter/add to heating appliance/ refrigeration unit or cooling system/ absorption system		\$20	\$
Evaporated cooler		\$20	\$
Vent fan with one duct/appliance vent		\$20	\$
Hood with exhaust and duct		\$20	\$
Floor furnace including vent		\$20	\$
Gas piping			
Any number of outlets		\$20	\$
Air-handling units, including ducts			
Up to 10,000 CFM		\$20	\$
Over 10,000 CFM		\$20	\$
Compressor/absorption system/heat pump			
Up to 3 hp/100k BTU		\$20	\$
Up to 15 hp/500k BTU		\$20	\$
Up to 30 hp/1,000 BTU		\$20	\$
Up to 50 hp/1,750 BTU		\$35	\$
Over 50 hp/1,750 BTU		\$45	\$
Incinerators			
Domestic incinerator		\$20	\$
Commercial			
Enter total valuation of mechanical system and installation costs \$ _____.			
Miscellaneous fees	Items	Cost ea.	Total cost
Reinspection		\$90	\$
Specially requested inspections (per hr.)		\$90	\$
Regulated equipment (unclassified)		\$50	\$
APPLICANT USE			
(A) Enter subtotal of above fees		\$	
(B) Investigative fee (equal to [A])		\$	
(C) Enter 12% surcharge (.12 x [A+B])		\$	
(D) Seismic fee, 1% (.01 x permit fee [A])		\$	
(E) Plan review (% of [A])		\$	
TOTAL fees and surcharges (A through E):			\$



City of Ashland

Building Safety Department

Address: 51 Winburn Way, Ashland OR 97520

Phone: 541-488-5305 Fax: 541-488-6006

Web: www.ashland.or.us

PLUMBING PERMIT APPLICATION

Permit #: BD -

Date:

This permit is issued under OAR 918-460-0030. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

LOCAL GOVERNMENT APPROVAL		
Zoning approval verified?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Sanitation approval verified?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
CATEGORY OF CONSTRUCTION		
<input type="checkbox"/> Residential	<input type="checkbox"/> Government	<input type="checkbox"/> Commercial
JOB SITE INFORMATION AND LOCATION		
Job site address:		
City:	State:	ZIP:
Subdivision:	Lot no.:	
DESCRIPTION OF WORK		
PROPERTY OWNER		
Name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
This property owner installation is being made on residential or farm property owned by me or a member of my immediate family, and is exempt from licensing requirements under OAR 918-695-0020.		
Signature:		
CONTRACTOR INSTALLATION		
Business name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
CCB license no.:	BCD license no.:	
City of Ashland license no.:		
Print name:		
Signature:		
<input type="checkbox"/> Visa	<input type="checkbox"/> MasterCard	<input type="checkbox"/> Discover
Phone: - -		/
Credit card number		Expiration
Name of cardholder as shown on credit card		\$
Cardholder signature		Amount

FEE SCHEDULE			
Description	Qty.	Cost ea.	Total cost
New residential			
1 bathroom/1 kitchen (includes: first 100 feet of water/sewer lines, hose bibs, ice maker, underfloor low-point drains and rain-drain packages)		\$400	\$
2 bathrooms/1 kitchen		\$500	\$
3 bathrooms/1 kitchen		\$575	\$
Each additional bathroom (over 3)		\$50	\$
Each additional kitchen (over 1)		\$50	\$
Remodel/alteration (minimum fee)		\$75	\$
Each fixture, appurtenance, and piping		\$20	\$
Storm water retention/detention facility		\$45	\$
Irrigation systems		\$15	\$
Piping or private storm drainage systems exceeding the first 100 feet		\$22	\$
Residential fire sprinklers (includes plan review)			
0 to 2,000 square feet		\$200	\$
2,001 to 3,600 square feet		\$250	\$
3,601 to 7,200 square feet		\$350	\$
7,201 square feet and greater		\$450	\$
Manufactured dwelling or pre-fab (circle one)			
Connections to building sewer and water supply - greater than 30 feet		\$50	\$
RV and manufactured dwelling parks			
Base fee (including the first 10 or fewer spaces)		\$150	\$
Each additional 10 spaces		\$100	\$
Commercial, industrial, and dwellings other than one- or two-family; Graywater Systems			
Minimum fee		\$75	\$
Each fixture		\$40	\$
Piping (based on number of feet)		\$0.75	\$
Miscellaneous fees			
Specialty fixtures		\$40	\$
Reinspection (no. of hrs. x fee per hr.)		\$90	\$
Special requested inspections (no. of hrs. x fee per hr.)		\$90	\$
Fee assessed for technical services, when requested by another government entity, ORS 190		\$	\$
Medical gas piping	Minimum fee	\$50	
Enter value of installation and equipment \$ _____.			
Enter fee based on Plumbing Fee Schedule			\$
APPLICANT USE			
(A) Enter subtotal of above fees		\$	
(B) Investigative fee (equal to [A])		\$	
(C) Enter 12% surcharge (.12 x [A+B])		\$	
(D) Plan review (% of [A])		\$	
TOTAL fees and surcharges (A through D):		\$	



Electrical Renewable Energy Permit Application

City of Ashland Building Division
 51 Winburn Way, Ashland OR 97520
 (541) 488-5305 www.ashland.or.us

Type of work	
<input type="checkbox"/> New Construction	<input type="checkbox"/> Addition/Alteration/Replacement
<input type="checkbox"/> Demolition	<input type="checkbox"/> Other:
Category of construction	
<input type="checkbox"/> 1 & 2 family dwelling	<input type="checkbox"/> Commercial/Industrial
<input type="checkbox"/> Multi-family	<input type="checkbox"/> Master Builder
<input type="checkbox"/> Accessory Buidling	<input type="checkbox"/> Other:
Job site information and location	
Job address:	
City/State/Zip:	
Suite/Bldg/Apt no.:	Project Name:
Subdivision:	Tax Map/Parcel no.:
Description of work	
Provide RS permit no.	
<input type="checkbox"/> Property owner <input type="checkbox"/> Tenant	
Name:	Email:
Address:	
City/State/Zip:	
Phone:	Fax:
If owner installation: This installation is being made on property that I own, which is not intended for sale, lease, rent, or exchange.	
Owner signature:	Date:
<input type="checkbox"/> Contractor <input type="checkbox"/> Subcontractor	
Business name:	Email:
Address:	
City/State/Zip:	
Phone:	Fax:
Elec.lic.no.	CCB lic.no.
Supervising Electrician	
Signature required: _____	
Print name:	License no.
Authorized signature: _____	
Print name:	Date:
<input type="checkbox"/> Applicant <input type="checkbox"/> Contact Person	
Business name:	
Contact name:	
Address:	
City/State/Zip:	
Phone:	Fax:
E-mail:	

This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

Fee Schedule				
Description	Qty.	Fee	Total	**
Renewable energy installation per system total				
5 kva or less		\$100		2
5.01 to 15 KVA		\$100		2
15.01 to 25 KVA		\$156		2
>25 KVA @ \$6.25ea				2
Wind generation systems in excess of 25 KVA:				
25.01 to 50 KVA		\$204		
50.01 to 100 KVA		\$469		
100.01 and up		See OAR 918.309.0040		
Miscellaneous				
Describe:				
Hourly rate:		\$90		
Each additional inspection				
Per inspection		\$90		
Investigation fee				
Other				
Permit fees				
Electrical Permit Subtotal			\$	

Structural Valuation for Racking System:	\$
--	----

Subtotal of Permit Fees	\$
Plan review (25% of permit fee)	\$
State surcharge (12% of permit fee)	\$
TOTAL PERMIT FEE	\$

RS Combo Permit/No Fees Due:



Prescriptive Rooftop-Mounted Solar Photovoltaic Installation Checklist — Residential

Building department:

Use this checklist to demonstrate compliance with the prescriptive rooftop-mounted photovoltaic (PV) system installation requirements of the Oregon Residential Specialty Code. Separate electrical permits are required for these installations. Refer to OAR 918-050-0180.

PART I – PROPERTY OWNER INFORMATION

Property owner name:		Phone number:
Installation address:		
City:	State: Oregon	ZIP:
Structure description:		
Installer: <input type="checkbox"/> Contractor <input type="checkbox"/> Owner (If owner, skip to Part III)		

PART II – CONTRACTOR INFORMATION

Contractor's name:		Phone number:
Email address:		
BCD license #:	CCB license #:	

PART III – STRUCTURAL CRITERIA

Check the appropriate boxes for each item as it applies to the project.

If "No" is selected for any item below, or if the supporting structure is a manufactured dwelling, the project **may not** be submitted using the prescriptive path.

- PV panel system and attachments will be designed to withstand applicable gravity and wind loads at the site and installed in accordance with the manufacturer's installation instructions: Yes No
- Ground snow load at the site does not exceed 70 pounds per square foot (psf): Yes No
- Wind exposure for structure is limited to Wind Exposure Category B or C: Yes No
- Structure is of conventional light-frame construction Yes No
- Supporting roof framing is one of the following: Yes No
(check one)
 - Pre-engineered trusses are spaced less than or equal to 24 inches on center (o.c.); **or**
 - Rafters are spaced less than or equal to 24 inches o.c. and framing complies with R324.4.1 Exception 1.4 through 1.6
- Roofing materials are metal or single-layer-wood shingles or shakes, or not more than two layers of composition shingle: Yes No
- Total weight of the PV panel system, including modules and racking, will not exceed 4.5 psf: Yes No
- Module height will be no more than 18 inches from the top of the module to the roof surface and comply with Figures R324.4.1(2) and R324.4.1(3) accordingly: Yes No

(continued)

PART III – STRUCTURAL CRITERIA (continued)

- PV modules or racking will be attached to the roof using one of the following methods:..... Yes No
(check one)

Attachment Method 1

1. Direct attachment to the **roof framing or blocking; and**
2. Attachment spacing
 - a. Less than or equal to 24 inches in any direction; **or**
 - b. Greater than 24 inches and less than or equal to 48 inches in any direction where **all** of the following exist:
 1. Ground snow load is less than or equal to 36 psf.
 2. Attachments are not located within 3 feet of a roof edge, hip, eave, or ridge.
 3. Basic design wind speed
 - a. Less than or equal to 120 mph in Wind Exposure Category B; **or**
 - b. Less than or equal to 110 mph in Wind Exposure Category C.

Attachment Method 2

1. Direct attachment to **standing seam metal roofing panels; and**
2. Attachment clamps comply with all of the following requirements:
 - a. Allowable uplift capacity of the clamps is not less than:
115 pounds, where clamp spacing is greater than or equal to 48 inches o.c.; **or**
75 pounds, where clamp spacing is less than 48 inches o.c.
 - b. Clamp spacing along a panel seam will be greater than or equal to 24 and less than or equal to 60 inches o.c.
 - c. Parallel to seam clamp spacing multiplied by the perpendicular clamp spacing will be less than or equal to 10 square feet.
3. Metal roofing panels comply with all the following:
 1. Panel thickness is minimum 26-gauge steel.
 2. Panel width is less than or equal to 18 inches.
 3. Attached with minimum #10 screws at 24 inches o.c.
 4. Installed over minimum 1/2-inch nominal wood structural panel sheathing that is fastened to framing with 8d nails at 6 inches o.c. at panel edges and 12 inches o.c. field nailing.

PART IV – PV MODULES

Manufacturer:

Model number:

Listing agency:

PART V – LOCATIONS AND PATHWAYS

Provide and attach a site plan in accordance with the municipality’s submission requirements, showing the location of the proposed PV array(s) on the building(s) and the required firefighter access and escape pathways. The proposed system must be shown in sufficient detail to assess whether the location and pathway requirements of Section R324.6 will be met.

(ref. <https://www.oregon.gov/bcd/codes-stand/Documents/techb-solarpv-pathways.pdf>).

PART VI – PATHWAYS AND CLEARANCES

Pathway and clearance requirements

- Using the grid below or an attached 8.5-inch x 11-inch or larger paper, provide a simple drawing, indicating the location of the PV system in relation to buildings, structures, property lines, and, as applicable, flood hazard areas.
- The drawing must be shown in sufficient detail to assess whether the *pathway* requirements of Section 3111.3.4.8 or one of the exceptions have been met.

A large grid for drawing a PV system layout. The grid consists of 20 columns and 20 rows of squares, providing a space for a simple drawing of the PV system in relation to buildings, structures, property lines, and flood hazard areas.

Photovoltaic Pathways

Detached One- and Two-Family Dwellings and Townhouses

Overview

The increase in demand for photovoltaic (PV) systems on rooftops created an awareness of the need for firefighter safety. Designated pathways on roofs with PV systems are necessary to provide safe unobstructed access for firefighting operations and to also provide escape routes.

This bulletin is intended to provide technical guidance on the requirements as they apply to PV systems installed on detached one- and two-family dwellings and townhouses and includes some examples illustrating common installations and roof types.

Where required

Designated pathways shall be provided for all rooftop-mounted PV systems installed on detached one- and two-family dwellings and townhouses, except as noted below. The required dimensions and locations of pathways vary based on the amount of roof area the PV system covers and the presence of adjacent roof planes, as uniquely defined.

Pathways are entirely exempted as follows:

- Nonoccupied accessory structures that are separated from occupied structures by not less than five feet or by a two-hour fire-resistance-rated assembly.
- Where pathways are deemed unnecessary for the specific building based on the fire official's recommendation, and approved by the building official.

Definitions

The following definitions are important to the application of the pathway provisions:

Solar roof plane. A roof plane on which a photovoltaic array is installed. A solar roof plane does not include building-integrated photovoltaic solar shingles.

Photovoltaic array. A mechanically integrated assembly of modules or panels with a support structure, foundation, tracker, and other components, as required to form a power-producing unit.

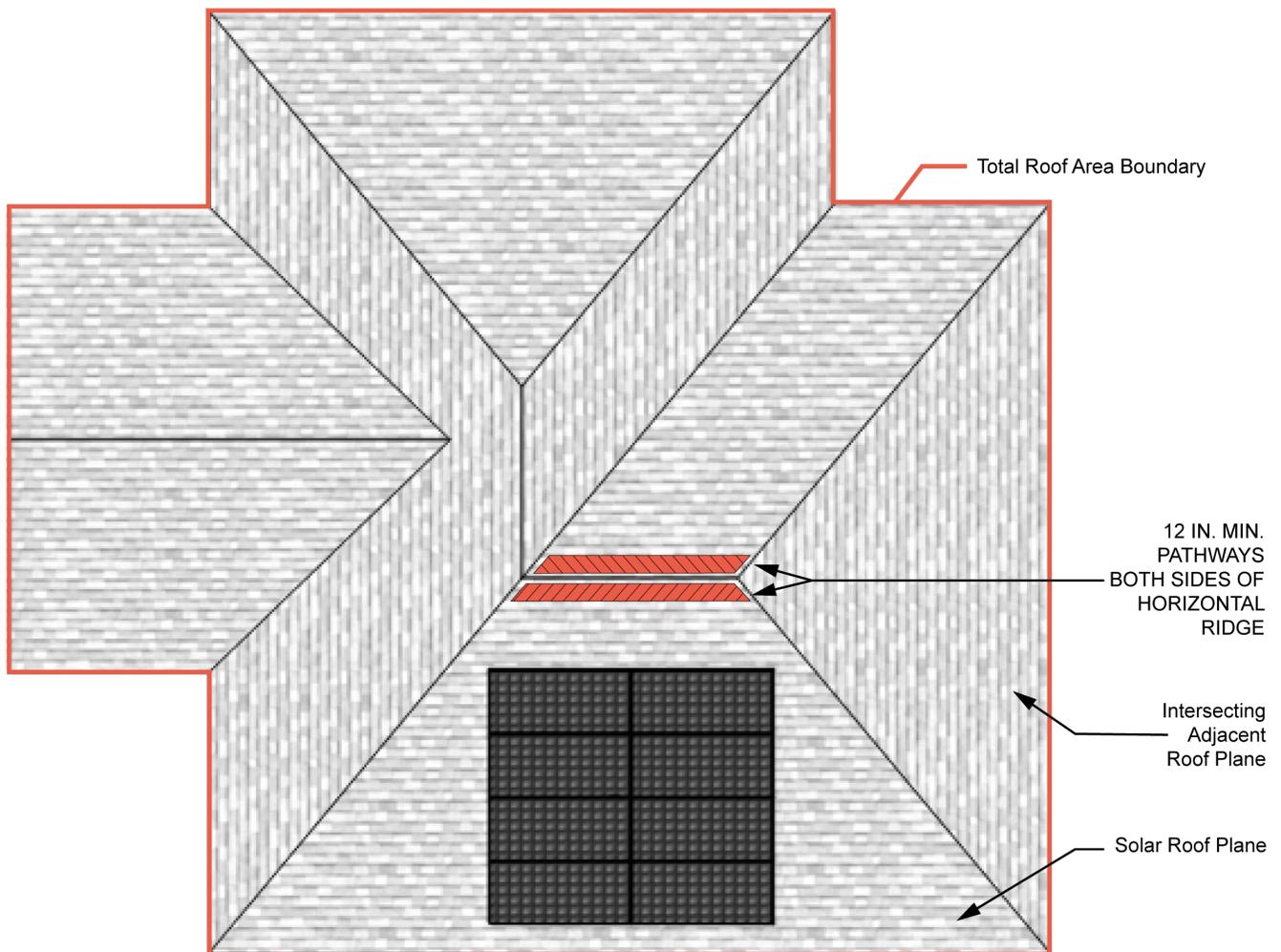
Roof area. The square footage of the roof, measured in plan view sharing a common attic below.

Adjacent roof plane. For the purposes of firefighter access and escape pathway provisions, the solar roof plane is contrasted with the adjacent roof plane. To be considered an adjacent roof plane, the roof plane adjacent to the photovoltaic array installation must be free of photovoltaic panels. In typical gable roof construction, the south-facing roof will generally be the preferred place for the installation of photovoltaic panels, and it will become the solar roof plane. Where the north-facing roof plane does not contain any photovoltaic panels, it would be considered the adjacent roof plane.

Examples

The following examples are provided to illustrate compliance with the pathway requirements and exceptions for common installations and roof types. These examples are not exhaustive and are intended only to provide general guidance related to the intent of the pathway code provisions.

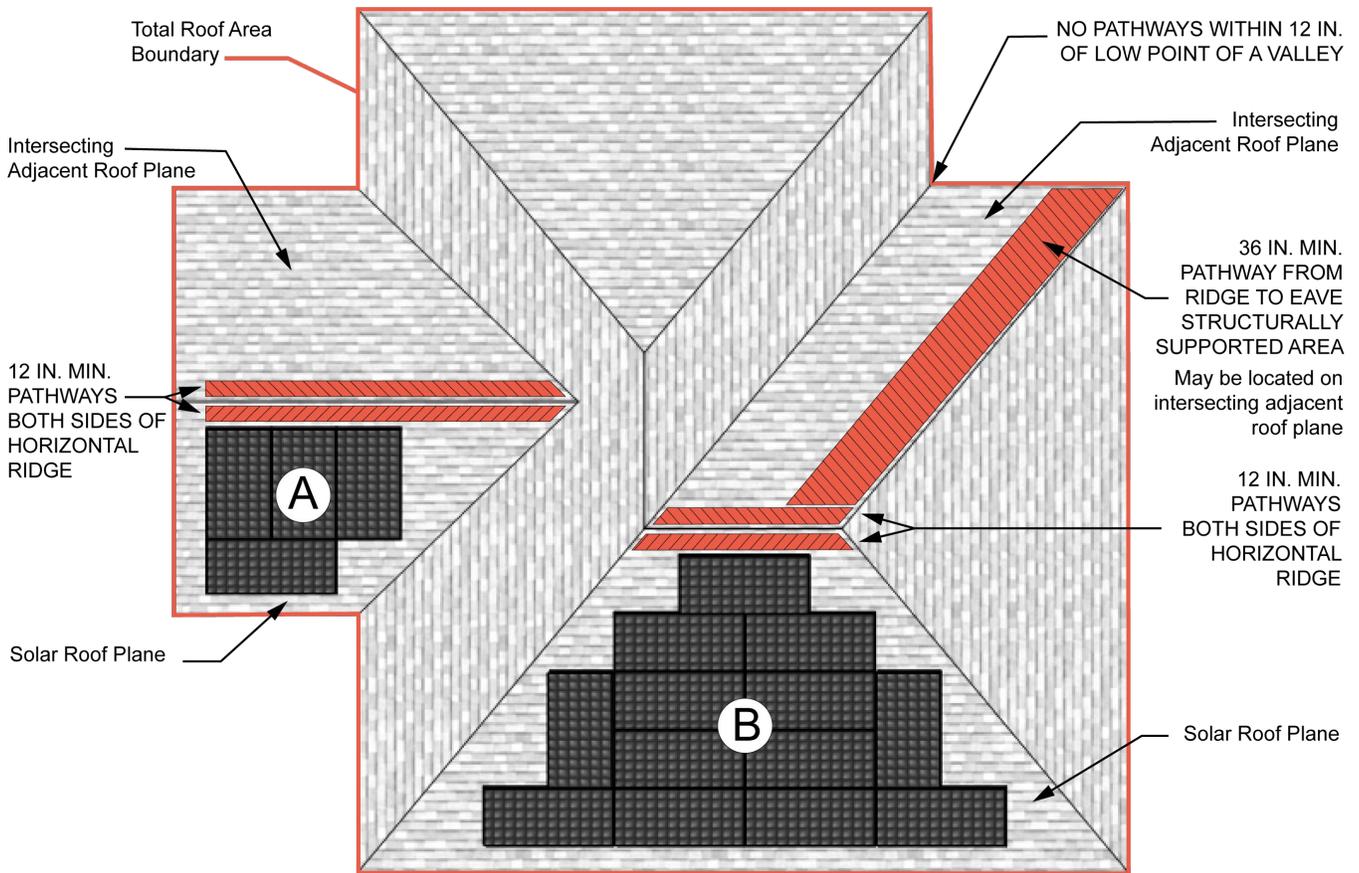
FIGURE 1



Details:

1. Roof slope exceeds 2 in 12.
2. Array is less than 150 ft in length and width.
3. Array is less than 1,000 ft² in area.
4. Intersecting adjacent roof planes are present.
5. Array area is less than 25% of the total roof area.
6. Attic spaces are not divided.

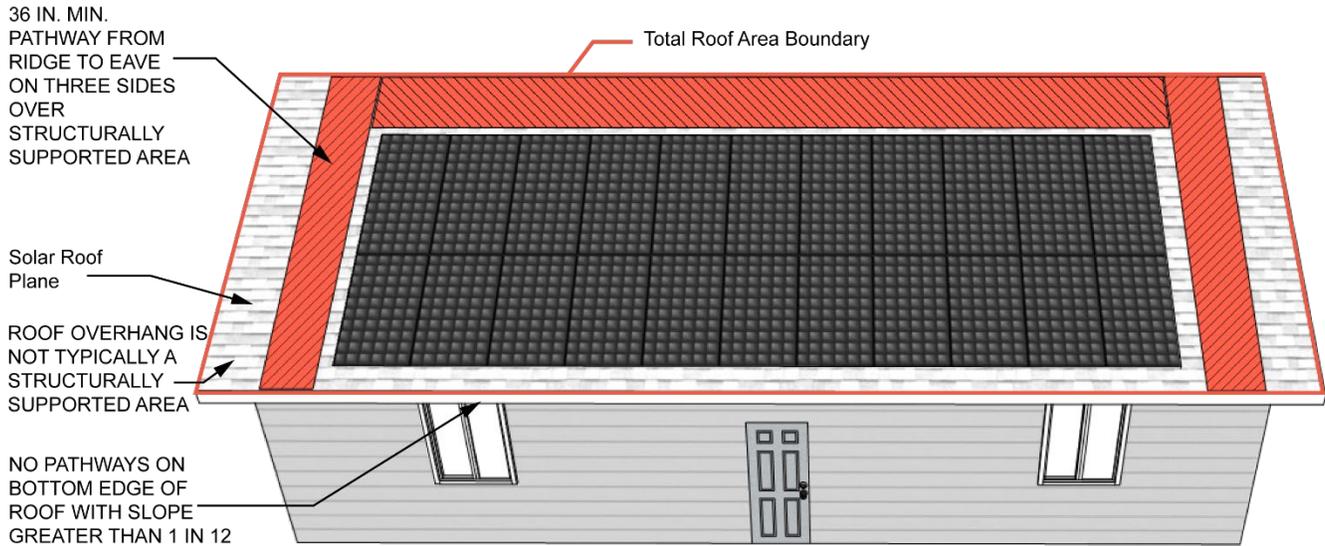
FIGURE 2



Details:

1. Roof slopes exceed 2 in 12.
2. Arrays (A) and (B) are each less than 150 ft in length and width.
3. Arrays (A) and (B) are each less than 1,000 ft² in area.
4. Intersecting adjacent roof planes are present.
5. Array (A) area is less than 25% of the total roof area.
6. Array (B) area is greater than 25% of the total roof area.
7. Attic spaces are not divided.

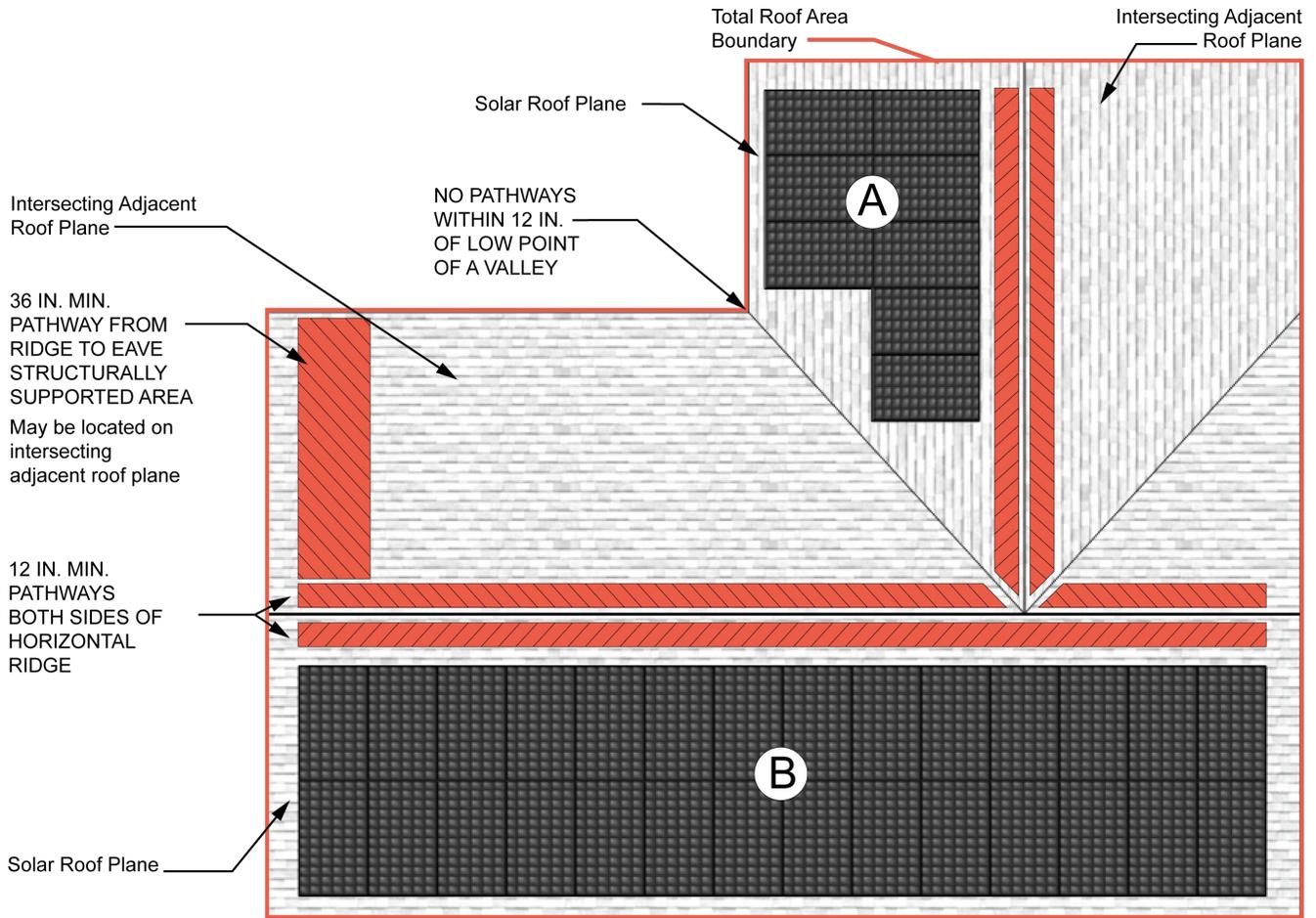
FIGURE 3



Details:

1. Roof slope exceeds 2 in 12.
2. Array is less than 150 ft in length and width.
3. Array is less than 1,000 ft² in area.
4. No intersecting adjacent roof planes are present.
5. Array area is greater than 25% of the total roof area.
6. Attic spaces are not divided.

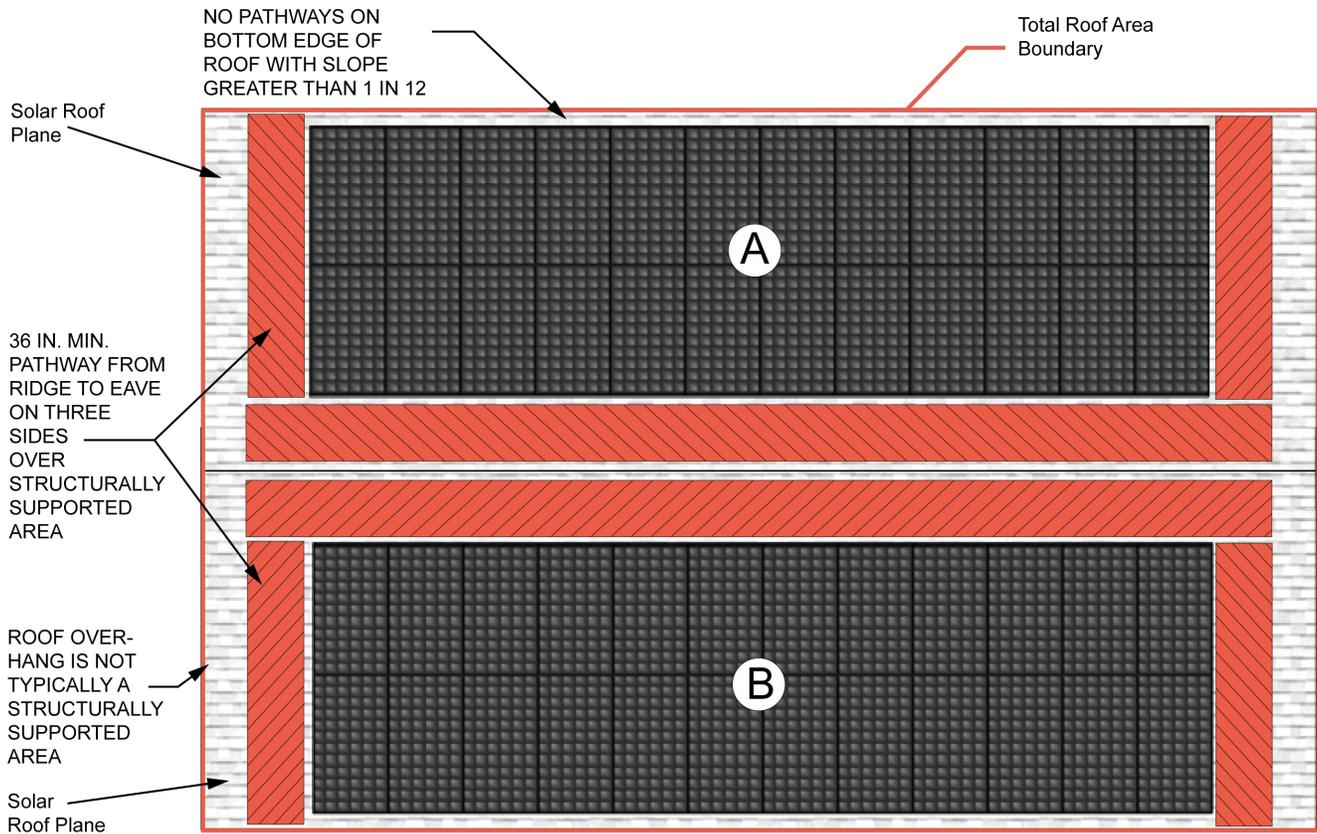
FIGURE 4



Details:

1. Roof slopes exceed 2 in 12.
2. Arrays (A) and (B) are each less than 150 ft in length and width.
3. Arrays (A) and (B) are each less than 1,000 ft² in area.
4. Intersecting adjacent roof planes are present.
5. Array (A) area is less than 25% of the total roof area.
6. Array (B) area is greater than 25% of the total roof area.
7. Attic spaces are not divided.

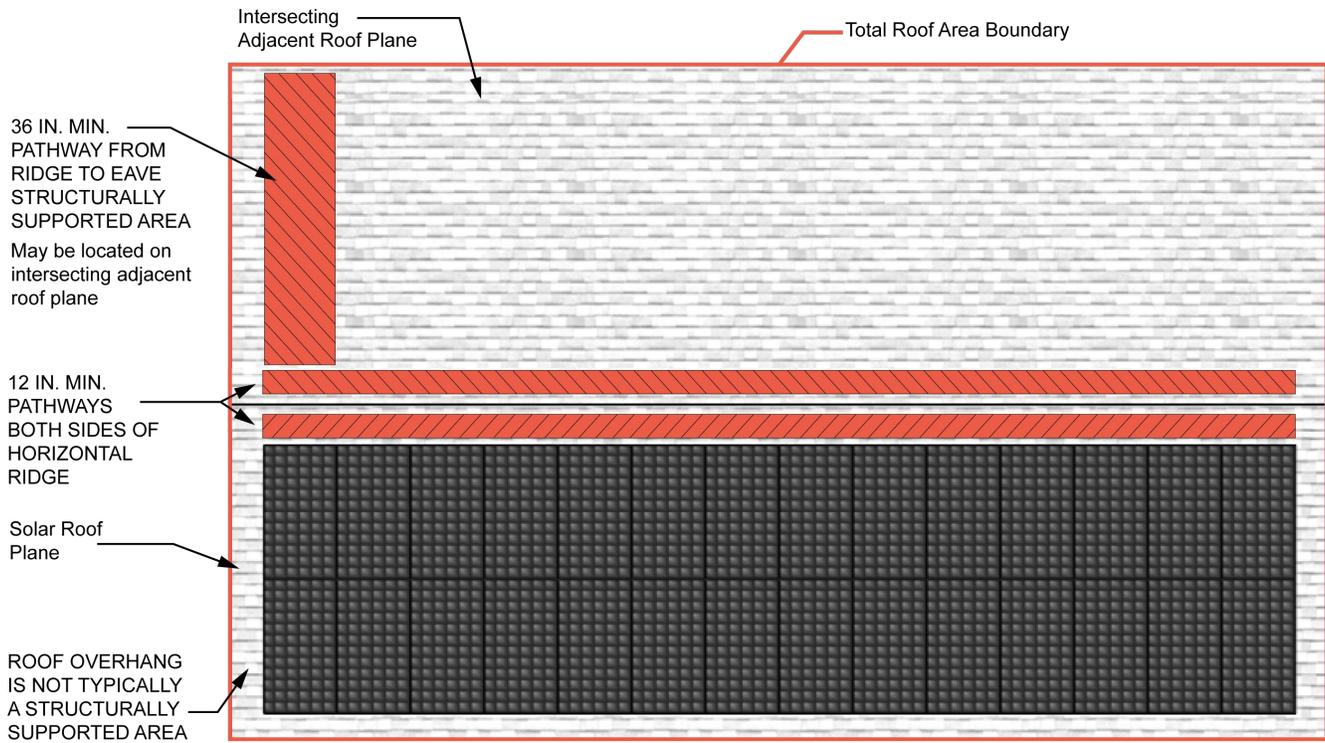
FIGURE 5



Details:

1. Roof slopes exceed 2 in 12.
2. Arrays (A) and (B) are each less than 150 ft in length and width.
3. Arrays (A) and (B) are each less than 1,000 ft² in area.
4. No intersecting adjacent roof planes are present.
5. Array (A) area is greater than 25% of the total roof area.
6. Array (B) area is greater than 25% of the total roof area.
7. Attic spaces are not divided.

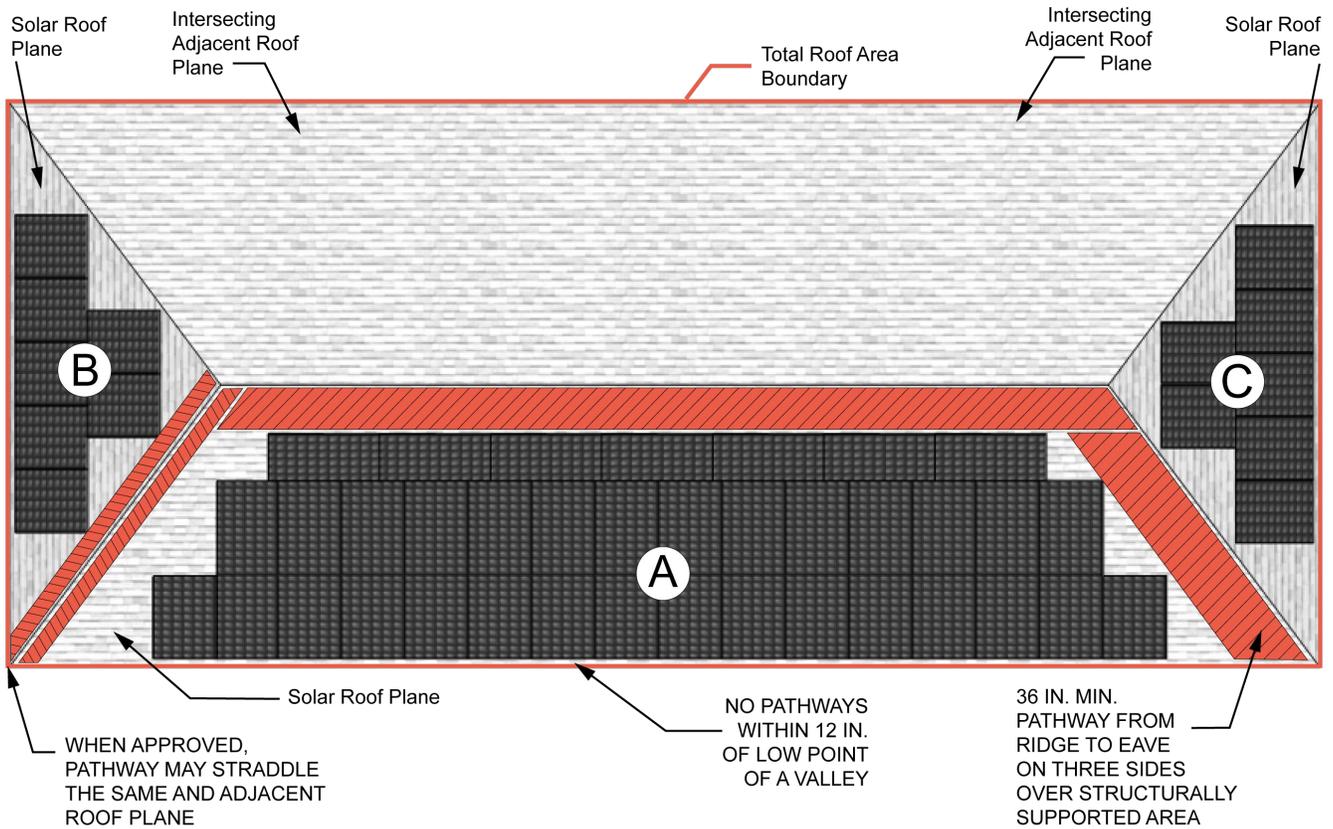
FIGURE 6



Details:

1. Roof slopes exceed 2 in 12.
2. Array is less than 150 ft in length and width.
3. Array is less than 1,000 ft² in area.
4. Intersecting adjacent roof plane is present.
5. Array area is greater than 25% of the total roof area.
6. Attic spaces are not divided.

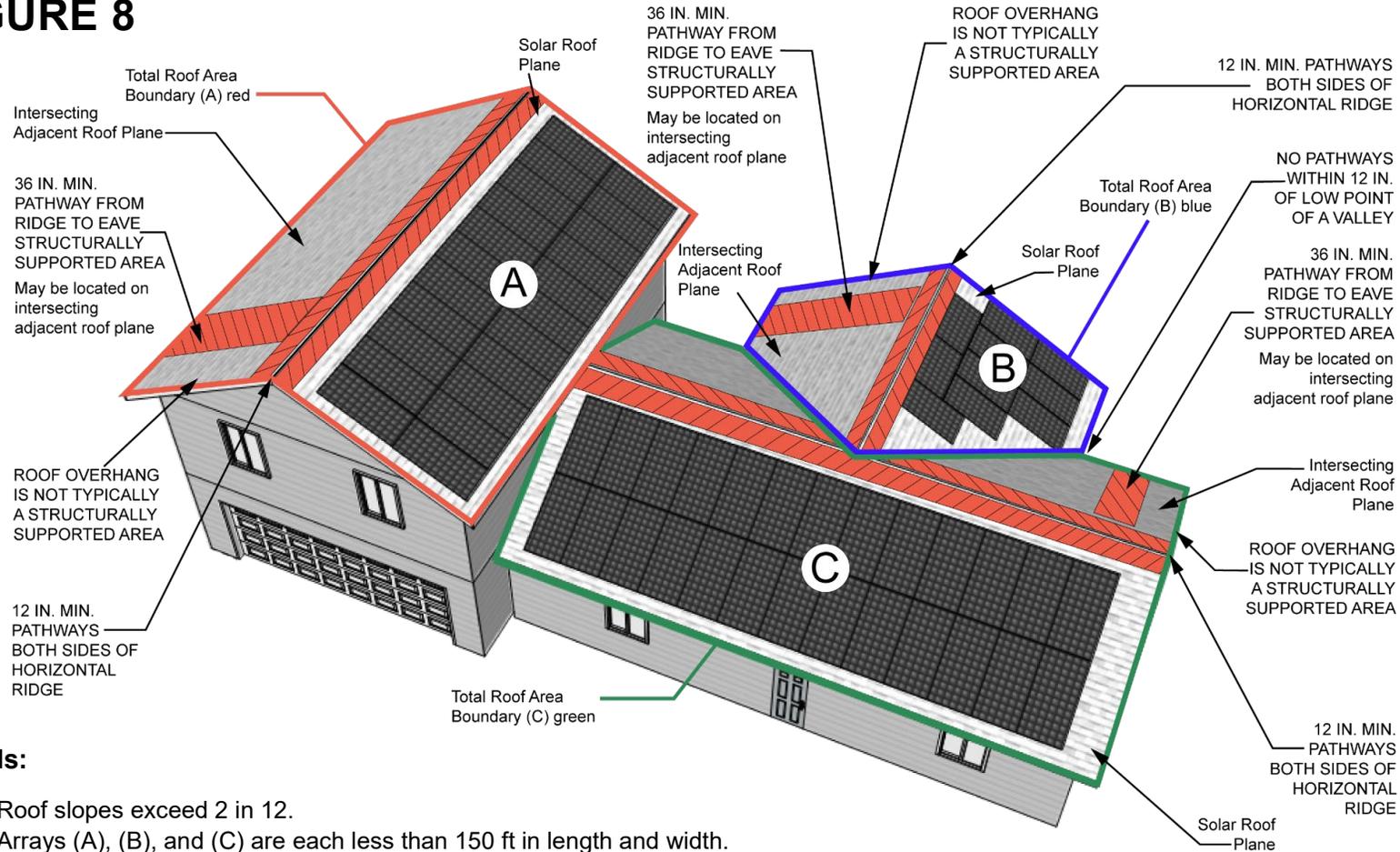
FIGURE 7



Details:

1. Roof slopes exceed 2 in 12.
2. Arrays (A), (B), and (C) are each less than 150 ft in length and width.
3. Array (A) is greater than 1,000 ft² in area.
4. Arrays (B) and (C) are each less than 1,000 ft² in area.
5. Intersecting adjacent roof planes are present.
6. Array (A) area is greater than 25% of the total roof area.
7. Arrays (B) and (C) areas are each less than 25% of the total roof area.
8. Attic spaces are not divided.

FIGURE 8



Details:

1. Roof slopes exceed 2 in 12.
2. Arrays (A), (B), and (C) are each less than 150 ft in length and width.
3. Intersecting adjacent roof planes are present for arrays (A), (B), and (C).
4. Array (A) area is less than 1,000 ft² and greater than 25% of the total red roof area.
5. Array (B) area is less than 1,000 ft² and greater than 25% of the total blue roof area.
6. Array (C) area is less than 1,000 ft² and greater than 25% of the total green roof area.
7. Attic spaces for the red, blue, and green roof areas are divided and are not contiguous.

Questions?

For information about a specific project, contact the local building department: Oregon.gov/bcd/lbdd.



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
 Phone (541) 488-5305 • Fax (541) 488-6066
 Email: Building@ashlandoregon.gov

Residential Building Permit Submittal Form

Location:		Date:	
Description of Project:			
Valuation of Project: <i>See Determination of Valuation Policy for additional information</i>			
Type:	SFR	ARU/2 nd Unit	Addition
	Detached	Accessory Structure	Change of Use/Occupancy
APPLICANT INFORMATION:			
Name:			
Address:			
City:	State:		ZIP:
Phone:	Email:		
PROPERTY OWNER INFORMATION:			
Name:			
Address:			
City:	State:		ZIP:
Phone:	Email:		
CONTRACTOR INFORMATION:		Work to be done by Owner	
Name:			
Address:			
City:	State:		ZIP:
Phone:	Email:		
Ashland Business License #			CCB#

SUBMITTAL CHECKLIST:

YES	NO	N/A	GENERAL INFORMATION:
			PDF of Digital Plans - Submit to Building@ashland.or.us <i>Plans must be drawn to scale, minimum 11x17 inches in size, and legible</i>
			Design Professional, Architect and/or Engineer(s) name, phone, and Email
			Name, Address, Phone and Email of all owners and contractors (include license #s)
			Design Criteria
			Code Analysis
			Gross Square Footage
			Total Square Footage of Impervious Surface
			If Remodel, show total # of plumbing fixtures being replaced, relocated, or added



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YES	NO	N/A	
			Demolished Structures Information
			Energy Forms
			Moisture Content & High Efficiency Lighting Form
			Structural Design Loads (snow load, wind, and exposure) <i>Default load is 25 lbs. per sq. ft.</i>
			LAND USE APPROVAL:
			Was this project subject to land use approval?
			If Yes, please list Planning Action number:
			Any conditions imposed as part of an approved planning action shall be shown on the plans
			PLOT PLAN:
			Show all Proposed and Existing Buildings
			Direction Indicator (north arrow)
			Easement Locations (private/public) and maintenance agreements for common areas
			Show distances between Property Lines and Buildings <i>See Property Pin Policy for additional information</i>
			Location of storm drains, sanitary sewer, water service connection, and electric service panel
			Show point of termination for footing, roof, and storm drains (Street or approved disposal site)
			Show Contour Lines (topography)
			Basement and Retaining Walls (cross sections and details or attached engineering)
			Provide calculations for all structural loads (include member reports)
			FOUNDATION PLAN:
			Elevation of footing and foundation details (including hold downs and their locations)
			FLOOR PLAN:
			Show each floor and use of all rooms and areas
			If Remodel or Addition, show existing Floor Plan
			Provide bracing design, prescriptive and/or engineered
			FRAMING CROSS SECTION & DETAILS
			Show coverings for all surfaces (roofing, ceilings interior, exterior, and projections) <i>Identify materials compliance with R327 Wildfire Hazard Mitigation</i>
			ELEVATIONS:
			Show all sides of building
			Provide Solar Calculations
			ROOF PLAN:
			Engineered Trusses
			Deferred Trusses
			Stick Frame
			MECHANICAL PLAN
			Show all heating, ventilation, and A/C equipment and location of each
			Gas fixtures (appliances) listed w/ BTU requirements



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			FIRE ACCESS & WILDFIRE MITIGATION
			Show distance to closest fire hydrant
			Wildfire Mitigation Plan Submittal Form

Applicant's Signature: _____ **Date:** _____



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
 Phone (541) 488-5305 • Fax (541) 488-6066
 Email: Building@ashlandoregon.gov

2023 ORSC Residential Energy Form

RESIDENTIAL INFORMATION

Date: _____ Permit Number: _____
 Applicant's Name: _____ Signature: _____
 Job Address: _____ City: _____ State: _____ Zip: _____

INSTRUCTIONS

Please select the type of construction below; sign, date, and complete the entire form. Submit this form with your permit application or your project will be placed on hold until the required information is provided.

New Construction. All conditioned spaces within residential buildings must comply with Table N1101.1(1) and one additional measure from Table N1101.1(2) on page 2.

Additions. Additions to existing buildings or structures may be made without making the entire building or structure comply if the new additions comply with the requirements of this chapter. (N1101.3)

Large Additions. Additions that are equal to 600 square feet (55 m²) in area must comply with Table N1101.1(2) on page 2. (N1101.3.1) *(Note: You must select one measure.)*

Small Additions. Additions that are less than 600 square feet in area must select one measure from Table N1101.1(2) on page 2 or comply with Table N1101.3 on page 2. (N1101.3.2)

Exception: Additions that are less than 225 square feet in area are not required to comply with Table N1101.1(2) or Table N1101.3.

Change of Use of Occupancy
 See additional information on page 4 of this document for further clarification.

Alterations and Repairs

Note: N1101.2.3 change of occupancy or use. Definition of "Change of use" for purposes of Section N1101.2.3 is a change of use in an existing residential building and shall include any of the following: any unconditioned spaces such as an attached garage, basement, porch, or canopy that are to become conditioned spaces; any unconditioned, inhabitable space that is to become conditioned space, such as a large attic. **Change of Use, see Section N1101.2.3.1. Change of Occupancy, see Section N1101.2.3.2.**

**TABLE N1101.2
 EXISTING BUILDING COMPONENT REQUIREMENTS**

BUILDING COMPONENT	REQUIRED PERFORMANCE	EQUIVALENT VALUE
Wall insulation	U-0.083	R-15
Flat ceiling	U-0.025	R-49
Vaulted ceiling > 10 inches nominal rafter depth	U-0.040	R-25
Vaulted ceiling > 8 inches nominal rafter depth	U-0.047	R-21
Underfloor > 10 inches nominal joist depth	U-0.028	R-30
Underfloor > 10 inches nominal joist depth	U-0.039	R-25
Slab-edge perimeter	N/A	N/A
Windows and glazed doors	U-0.30	U-0.30
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	R-5

For SI: inch-25.4mm, 1 square foot = 0.0929m²



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TABLE N1101.3 – SMALL ADDITION ADDITIONAL MEASURES (SELECT ONE)

<input type="checkbox"/>	1.	Increase the ceiling insulation of the existing portion of the home as specified in Table N1101.2.
<input type="checkbox"/>	2.	Replace all existing single-pane wood or aluminum windows to be U-value as specified in Table N1101.2.
<input type="checkbox"/>	3.	Insulate the existing floor, crawl space, or basement systems as specific in Table N1101.2 and install 100 percent of permanently installed lighting fixtures as CFL, LED, or linear fluorescent, or a minimum efficacy of 40 lumens per watt as specified in Section N1107.2.
<input type="checkbox"/>	4.	Test the entire dwelling with blower door and exhibit no more than 4.5 air changes per hour @ 50 Pascals.
<input type="checkbox"/>	5.	Seal and performance test the duct system.
<input type="checkbox"/>	6.	Replace existing 80 percent AFUE or less gas furnace with a 92 percent AFUE or greater system.
<input type="checkbox"/>	7.	Replace existing electric radiant space heaters with a ductless mini-split system with a minimum HSPF of 10.0 or HSPF2 of 9.0
<input type="checkbox"/>	8.	Replace existing electric forced air furnace with an air source heat pump with a minimum HSPF of 9.5 or HSPF2 of 8.1.
<input type="checkbox"/>	9.	Replace existing water heater with a water heater meeting: <ul style="list-style-type: none"> • Natural gas/propane water heater with minimum UEF 0.90, or • Electric heat pump water heater with minimum 3.45 UEF

TABLE N1101.1(2) ADDITIONAL MEASURES

<input type="checkbox"/>	1.	HIGH EFFICIENCY HVAC SYSTEM a. Gas-fired furnace or boiler AFUE 94%, or b. Air source heat pump HSPF 10.0/14.0 SEER cooling, of 8.5 HSPF2/15.0 SEER2, or c. Ground source heat pump COP 3.5 or Energy Star rated
<input type="checkbox"/>	2.	HIGH EFFICIENCY WATER HEATING SYSTEM a. Natural gas/propane water heater with minimum UEF 0.90, or b. Electric heat pump water heater with minimum 3.45 UEF, or c. Natural gas/propane tankless/instantaneous heater with minimum 0.80 UEF and Drain Water Heat Recovery Unit installed on minimum of one shower/tub-shower
<input type="checkbox"/>	3.	WALL INSULATION UPGRADE Exterior walls – U-0.045/R-21 conventional framing with R-5.0 continuous insulation
<input type="checkbox"/>	4.	ADVANCED ENVELOPE Windows – U-0.21 (Area weighted average), and Flat ceiling – U-0.017/R-60, and Framed floors – U-0.026/R-38 or slab edge insulation to F-0.48 or less (R-10 for 48", R-15 for 36", or R-5 fully insulated slab)
<input type="checkbox"/>	5.	DUCTLESS HEAT PUMP For dwelling units with all-electric heat provide: <ul style="list-style-type: none"> • Ductless heat pump of minimum HSPF 10 or HSPF2 9.0 in primary zone replaces zonal electric heat sources, and • Provide programmable thermostat for all heaters in bedrooms
<input type="checkbox"/>	6.	HIGH EFFICIENCY THERMAL ENVELOPE UA Proposed UA is 8 percent lower than the code UA
<input type="checkbox"/>	7.	2.75 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION Achieve a maximum of 2.75 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system, including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent and total fan efficacy of 1.6 CFM/Watt (combined input for supple and exhaust).

Choose one of the following methods to meet the Mechanical Whole-House Ventilation System requirements (see BCD technical bulletin)	
<input type="checkbox"/>	Supply and exhaust fans providing continuously-operating, balanced, WHV without a furnace.
<input type="checkbox"/>	Supply and exhaust fans providing continuously-operating, balanced, WHV with a furnace.
<input type="checkbox"/>	Central Fan Integrated Supply (CFIs) continuously-operating, balanced WHV. Furnace serves as the intake fan. Shall be interlocked with exhaust system and an override switch.
<input type="checkbox"/>	Heat recovery/energy recovery ventilation providing continuously-operating, balanced, WHV. Supply may be connected to the central furnace return air.
<input type="checkbox"/>	Other approved method detailed on the construction documents. Reference page number _____.



TABLE N1101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS^a

BUILDING COMPONENT	STANDARD BASE CASE		LOG HOMES ONLY	
	Required Performance	Equivalent Value ^b	Required Performance	Equivalent Value ^b
Wall insulation—above grade	U-0.059c	R-21 Intermediate ^c	Note d	Note d
Wall insulation—below grade ^e	C-0.063	R-15 c.i. / R-21	C-0.063	R-15/R-21
Flat ceilings ^f	U-0.021	R-49	U-0.020	R-49 A ^h
Vaulted ceilings ^g	U-0.033	R-30 Rafter or R-30A ^g , ^h Scissor Truss	U-0.027	R-38A ^h
Underfloors	U-0.033	R-30	U-0.033	R-30
Slab-edge perimeter ^l	F-0.520	R-15	F-0.520	R-15
Heated slab interior ⁱ	N/A	R-10	N/A	R-10
Windows ^j	U-0.27	U-0.27	U-0.27	U-0.27
Skylights	U-0.50	U-0.50	U-0.50	U-0.50
Exterior doors ^k	U-0.20	U-0.20	U-0.54	U-0.54

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m², 1 degree = 0.0175 rad,
 N/A = Not Applicable.

- a. As allowed in Section N1104.1, thermal performance of a component may be adjusted, provided that overall heat loss does not exceed the total resulting from conformance to the required *U*-factor standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved *U*-factors contained in Table N1104.1(1).
- b. *R*-values used in this table are nominal for the insulation only in standard wood-framed construction and not for the entire assembly.
- c. Wall insulation requirements apply to all exterior wood-framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and Intermediate Framing (Section N1104.5.2) with insulated headers.
- d. The wall component shall be a minimum solid log or timber wall thickness of 3½ inches.
- e. Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such wall that extend more than 24 inches above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
- f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet in area may be reduced to not less than R-21. Where reduced, the cavity shall be filled (except for required ventilation spaces). R-49 insulation installed to minimum 6-inch depth at top plate at exterior of structure to achieve *U*-factor.
- g. Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a *U*-factor not greater than U-0.026 (equivalent to R-38 rafter or scissor truss with R-38 advanced framing).
- h. A = Advanced frame construction. See Section N1104.6.
- i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab in addition to perimeter insulation.
- j. Glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section N1104.4 shall comply with window performance requirements if constructed with aluminum with thermal break, wood, vinyl, reinforced vinyl aluminum-clad wood, or insulated fiberglass frames, and double-pane glazing with low-emissivity coatings of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with a *U*-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building envelope requirements.
- k. A maximum of 28 square feet of exterior door area per dwelling unit can have a *U*-factor of 0.54 or less.
- l. Minimum 24-inch horizontal or vertical below grade. The minimum total distance of 24 inches may be a combination of the horizontal and vertical planes. If a horizontal plane is used on the exterior of the slab, it must be a minimum of 12 inches below finished grade.



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
Phone (541) 488-5305 • Fax (541) 488-6066
Email: Building@ashlandoregon.gov

N1101.2.3 Change of occupancy or use.

Definition of “change of use” for purposes of Section N1101.2.3.1 is a change of use in an existing *residential building* and shall include any of the following: any unconditioned spaces such as an attached garage, basement, porch, *attic* or canopy that are to become *conditioned spaces*.

N1101.2.3.1 Change of use.

A building that changes use, without any changes to the components regulated in this chapter, is required to comply with Table N1101.2 to the greatest extent practical. Changes of use that are greater than 30 percent of the *existing building* heated floor area or more than 400 square feet (37 m²) in area, whichever is less, shall be required to comply with one measure from Table N1101.3.2.

N1101.2.3.2 Change of occupancy.

Alteration and repair of conditioned nonresidential buildings, such as a change of occupancy from a small church or school to a residential *dwelling*, shall use Table N1101.2 to the greatest extent practical and comply with one measure from Table N1101.1(2) or Table N1101.3.2.

Exception: The minimum component requirements shall be disregarded where thermal performance calculations are completed for change of use to a Group R-3 occupancy, and such calculations demonstrate similar performance to the requirements of Table N1101.2.

N1101.4 Information on plans and specifications.

Plans and specifications shall show in sufficient detail all pertinent data and features of the building and the equipment and systems as herein governed, including, but not limited to: exterior envelope component materials; *R*-values of insulating materials; *fenestration U*-factors; HVAC equipment efficiency performance and system controls; lighting; an additional measure from Table N1101.1(2); and the other pertinent data to indicate compliance with the requirements of the chapter.



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
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Email: Building@ashlandoregon.gov

Moisture Content & High-Efficiency Interior & Exterior Lighting System
Acknowledgement Form

I, _____, am the authorized agent or the owner at the following address:

Street Address

City State Zip Code

Permit #

- A) R318.2 Moisture Content.** Prior to the installation of interior finishes, the Building Official shall be notified in writing by the general contractor that all moisture-sensitive wood framing members used in construction have moisture content of not more than 19 percent of the weight of dry wood framing members.

- B) N1107.2 High-Efficiency Lamps.** All permanently installed lighting fixtures shall be high efficiency light sources. Exception: Two permanently installed lighting fixtures are not required to be high-efficiency light sources when controlled by a dimmer or automatic control.

- C) N1107.3 High-Efficacy Exterior Lighting** – Same requirements as N1107.2 above.

Print Name: _____

Signed: _____
(Circle One) Owner/General Contractor/Authorized Agent

Date: _____



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520

Phone (541) 488-5305 • Fax (541) 488-6066

Email: Building@ashland.or.us

Sewage Backflow Acknowledgement

It shall be the applicant's responsibility to verify if the drainage of any plumbing fixtures are located below the next upstream manhole or below the main sewer level. Where fixture openings are below the next upstream manhole or below the main sewer level, backflow preventers shall be installed in accordance with 710.1 of the current Oregon Plumbing Specialty Code (OPSC). Failure to install such device could result in crawl spaces and homes filling with sewage when main sewer systems are backed up. By signing this form you acknowledge this requirement and the risk that comes with failing to install such device when required.

Site Address: _____

Applicant's Signature _____

Date _____



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520

Phone (541) 488-5305 • Fax (541)

488-6066 Email: Building@ashland.or.us

Wildfire Mitigation Plan Submittal Form

Instructions: Identify in each section how compliance with R327 Wildfire Hazard Mitigation requirements are achieved (Check and fill in information for all that applies).

Roofing (R327.3)

Note: There are additional requirements for preventing intrusion of embers and flames in open spaces between roofing and roof decking and additional flashing requirements

Material (Minimum Class B)	Manufacturer	Product Name	Fire-Resistance Rating Class A or B

Rain Gutters (R327.3.1)

Non-combustible rain gutter with non-combustible corrosion-resistant screening
--

Vents (Flame and Ember-Resistant): Eave, Soffit, Cornice, and Ceiling <12 feet above grade or surface below (R327.3.2.1)

Vented Roof (vents that are listed and tested by ASTM E2886, or Building Official approval)
Unvented Roof (see attachment, all conditions shall be met)

Location	Manufacturer	Product Name	Approval Listing #

All Other Vents (R327.3.2)

Material
Corrosion-resistant with maximum 1/8" non-combustible corrosion-resistant metal mesh

Exterior Wall Covering (R327.3.3)

Note: There are additional requirements for how wall coverings terminate. For combustible siding/wall covering, fill out the following table or explain how you will achieve requirements:

Location	Orientation	Material	Manufacturer	Product Name	Approval Listing #
One layer of minimum 5/8" exterior grade Type X behind covering or 1-hour fire-resistive assembly					



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
Phone (541) 488-5305 • Fax (541) 488-6066
Email: Building@ashland.or.us

Overhanging Projections, Roof Eaves, Soffits, Cornices, Patio/Porch Ceilings, or Underfloor Protection of Elevated Structures (R327.3.4.1)

Note: Gable end overhangs beyond an ext. wall other than at the lower end of rafter tails are exempt.

Location	Material	Manufacturer	Product Name	Approval Listing #
One layer of minimum 5/8" exterior grade Type X behind covering or 1-hour fire-resistive assembly				

Walking Surfaces (R327.3.5)

Note: Fill this in for any combustible surface decking material planned. If none, label N/A.

Material	Manufacturer	Product Name	Approval Listing #

Glazing in Windows, Doors, Skylights (R327.3.6)

Material
All, dual glazing, tempered glass, glass block, or a fire resistance rating of not less than 20 min.

Applicant Name _____

Applicant Signature _____

Date _____



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520

Phone (541) 488-5305 • Fax (541) 488-6066

Email: Building@ashland.or.us

Attachment: Unvented Roofs

R806.5 Unvented attic and unvented enclosed rafter assemblies.

Unvented *attics* and unvented enclosed roof framing assemblies created by ceilings that are applied directly to the underside of the roof framing members and structural roof sheathing applied directly to the top of the roof framing members/rafters, shall be permitted where all the conditions are met:

1. The unvented *attic* space is completely within the *building thermal envelope*.
2. Interior Class I vapor retarders are not installed on the ceiling side (*attic* floor) of the unvented *attic* assembly or on the ceiling side of the unvented enclosed roof framing assembly.
3. A minimum insulation level of R-20 air-impermeable or rigid board insulation embedded into *air-permeable insulation* shall be installed above all recessed fixtures, such as recessed lights and exhaust fans.
4. Where wood shingles or shakes are used, a minimum ¼-inch (6.4mm) vented airspace separates the shingles or shakes and the roofing underlayment above the structural sheathing.
5. Any *air-impermeable insulation* shall be a Class II vapor retarder, or shall have a Class II vapor retarder coating or covering in direct contact with the underside of the insulation.
6. Insulation shall comply with Item 6.1, 6.2, or 6.3. Where preformed insulation board is used as the *air-impermeable insulation* layer as specified in the items below, it shall be sealed at the interior perimeter or each individual sheet to form a continuous layer.
 - 6.1 Where only *air-impermeable insulation* is provided, it shall be applied in direct contact with the underside of the structural roof sheathing.
 - 6.2 Where *air-permeable insulation* is installed directly below the structural sheathing, rigid board or sheet insulation shall be installed directly above the structural roof sheathing to an insulation level not less than R-20 for condensation control.
 - 6.3 Where both *air-impermeable* and *air-permeable insulation* are provided, the *air-impermeable insulation* shall be applied in direct contact with the underside of the structural roof sheathing to an insulation level not less than R-20 and shall be in accordance with the R-values in Table R806.5 for condensation control. The *air-permeable insulation* shall be installed directly under the *air-impermeable insulation*.

R327.4 Wildfire Hazard Mitigation Construction Guide for Wildfire Hazard Zones



Underfloor and Attic Vents

ORSC Section R327.4.4

All Vents:

All vents shall have screening made of corrosion-resistant metal mesh with minimum 1/16" and maximum 1/8" grid **or** be designed to resist flame and ember intrusion (ASTM E2886).

Eave, Soffit, and Cornice Vents less than 12' above grade or surface:

All vents shall have screening made of corrosion-resistant metal mesh with minimum 1/16" and maximum 1/8" grid **and** be designed to resist flame and ember intrusion (ASTM E2886).

Roofing

ORSC Section R327.4.3

Roofing shall be asphalt, slate, metal, tile, clay, concrete, or equivalent minimum Class B. **Wood shingle or shake materials are prohibited.** Cap off or fire block spaces between roofing and roof deck to prevent flame and ember intrusion and provide galvanized valley flashing where valley flashing is installed.

Walking Surfaces

ORSC Section R327.4.7

Deck, porch, and balcony walking surfaces greater than 30" and less than 12' above grade or the surface below shall be constructed of minimum 2" nominal lumber for decks <= 200 sq. ft., non-combustible, ignition-resistant conforming to ASTM E84 or UL 723, exterior fire retardant treated wood, meets ASTM E2632 and ASTM 2726 criteria, or meets ASTM E2632 with ignition-resistant wall covering.

Rain Gutters

ORSC Section R327.4.3.1

Non-combustible materials with provisions to prevent the accumulation of leaves and debris in the gutters (Non-combustible corrosion resistant metal screening).

Underfloor Protection

ORSC Section R327.4.6.4

Underfloor area of elevated structures shall be enclosed or meet non-combustible material, ignition-resistant material, ASTM E2957 compliant, one layer of minimum 5/8" exterior grade Type X applied behind the exterior covering of the underside, or 1-hour fire resistive exterior wall assembly.

Windows, Doors, Skylights Glazing

ORSC Section R327.4.8

Exterior windows, windows within exterior doors, and skylights shall be tempered glass, multilayered glazed panels (typical dual pane), glass block, or have a minimum fire-resistant rating of 20 minutes.



Overhanging Projections

ORSC R327.4.6.1; R327.4.6.2; R327.4.6.3

All enclosed roof eaves, soffits, cornices, exterior patio/porch ceilings and floor projections less than 12' above grade or the surface below shall be covered with either non-combustible material, ignition-resistant material, ASTM E2957 compliant, one layer of minimum 5/8" ext. Type X applied behind the exterior covering, or 1-hour fire resistive exterior wall assembly (Gable end overhangs are exempt).

Exterior Wall Covering

ORSC Section R327.4.5

Wall covering materials shall be noncombustible, ignition-resistant, heavy timber, log wall, or wall assemblies tested in accordance with ASTM E2707. Alternatively, one layer of minimum 5/8" exterior grade Type X applied behind the exterior wall covering or cladding or 1-hour fire resistive exterior wall assembly. Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2" nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves or soffits, shall terminate at the underside of the enclosure.



CITY OF ASHLAND BUILDING DIVISION
 51 Winburn Way, Ashland, OR, 97520
 (541) 488-5305
Building@ashland.or.us

Residential Express Building Permit Submittal Form

GENERAL INFORMATION:

❖ WHAT IS ELIGIBLE FOR AN EXPRESS PERMIT?

Small residential projects that require basic Planning and Building Department review including most additions, remodels, decks, pools, retaining walls or other similar type projects.

Please note: These reviews are intended to be quick and fairly routine. If your project involved a Planning Action or if other research or extensive calculations are required, your project will be reviewed through the standard review process.

❖ HOW DO I SUBMIT?

Email your completed form, digital plans, and submittal checklist information to Building@ashland.or.us.

❖ WHAT IS THE PROCESS?

A Permit Technician will log your project and contact you for payment of the plan check fee. Following payment, the Building Plans Examiner and Planning Plans Examiner will review your project for compliance with building and land use codes and contact you if they have any questions. Once the review is complete, a Permit Technician will contact you for payment of the remaining permit fees and your approved plans will be returned via email, along with your inspection card and copy of the permit. Express Permits are typically reviewed and issued within 72 hours.

APPLICATION INFORMATION:

Location:		Date:	
Description of Project:			
Valuation of Project: <i>See Determination of Valuation Policy for additional information</i>		\$	
Type:	Addition Garage/Shop	Remodel Carport	Deck/Porch Structural Commercial Re-Roof Other
APPLICANT INFORMATION:			
Name:			
Address:			
City:	State:	ZIP:	
Phone:	Email:		
PROPERTY OWNER INFORMATION:			
Name:			
Address:			
City:	State:	ZIP:	
Phone:	Email:		

CONTRACTOR INFORMATION:			<input type="checkbox"/> Work to be done by Owner
Name:			
Address:			
City:	State:	ZIP:	
Phone:	Email:		
Ashland Business License #			CCB#

SUBMITTAL CHECKLIST:

YES	NO	N/A	GENERAL INFORMATION:
			PDF of Digital Plans - Submit to Building@ashland.or.us <i>Plans must be drawn to scale, minimum 11x17 inches in size, and legible</i>
			Design Professional, Architect and/or Engineer(s) name, phone, and Email
			Name, Address, Phone and Email of all owners and contractors (include license #s)
			Existing and Proposed Square Footage of Structure(s)
			Existing and Proposed Impervious Surfaces
			Site Plan showing proposed and existing buildings, north arrow indicator, distances to property lines, drainage lines, retaining walls, and contour lines
			Foundation Plan (including footing elevation and hold down locations)
			Floor Plan including the use of the rooms and other areas. Identify all new, deleted and existing walls, windows & doors. Also include location of all replaced, relocated, or added plumbing fixtures, heating, ventilation and A/C equipment, hot water tanks, electrical panels, and gas fixtures with BTU requirements.
			Framing Cross-Sections & Details including beam calculations for all beams, brace panels (exterior & interior), alt. brace panels, portal frame or engineered system.
			Roof framing plan for stick frame & engineered trusses. (Include the eng. truss calculations & truss layout sheet)
			Elevations – show all sides of the building affected by the remodel or addition.
			Solar Calculations <i>See Solar Setback Guide for additional information</i>
			Exterior Materials being used for roof, siding, trim molding, windows, porches, railings, etc.

Applicant's Signature: _____ **Date:** _____



City of Ashland

Building Safety Department

Address: 51 Winburn Way, Ashland OR 97520

Phone: 541-488-5305 Fax: 541-488-6006

Web: www.ashland.or.us

STRUCTURAL PERMIT APPLICATION

Permit #: BD -

Date:

This permit is issued under OAR 918-460-0030. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.

LOCAL GOVERNMENT APPROVAL		
This project has final land-use approval.		Date:
Signature:		
This project has DEQ approval.		Date:
Signature:		
Zoning approval verified: <input type="checkbox"/> Yes <input type="checkbox"/> No		
Property is within flood plain: <input type="checkbox"/> Yes <input type="checkbox"/> No		
CATEGORY OF CONSTRUCTION		
<input type="checkbox"/> Residential	<input type="checkbox"/> Government	<input type="checkbox"/> Commercial
JOB SITE INFORMATION AND LOCATION		
Job site address:		
City: Ashland	State: Oregon	ZIP: 97520
Subdivision:	Lot no.:	
PROPERTY OWNER		
Name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
This installation is being made on residential or farm property owned by me or a member of my immediate family, and is exempt from licensing requirements under ORS 701.010.		
Sign here:		
CONTRACTOR INSTALLATION		
Business name:		
Address:		
City:	State:	ZIP:
Phone: - -	Fax: - -	
E-mail:		
CCB license no.:		
Print name:		
Signature:		

CREDIT CARD INFORMATION	
<input type="checkbox"/> Visa <input type="checkbox"/> MasterCard <input type="checkbox"/> Discover	Phone: - -
Credit card number	Expiration /
Name of cardholder as shown on credit card	
Cardholder signature	\$ Amount

FEE SCHEDULE	
1. Valuation information	
(a) Job description:	
Occupancy	
Construction type:	
Square feet:	
Cost per square foot:	
Other information:	
<input type="checkbox"/> new <input type="checkbox"/> alteration <input type="checkbox"/> addition	
(b) Foundation-only permit? <input type="checkbox"/> Yes <input type="checkbox"/> No	
(c) Plan review only? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Total valuation:	\$
2. Building fees	
(a) Permit fee (use valuation table):	\$
(b) Investigative fee (equal to [2a]):	\$
(c) Reinspection (\$ per hour): (number of hours x fee per hour)	\$
(d) Enter 12% surcharge (.12 x [2a+2b+2c]):	\$
(e) Subtotal of fees above (2a through 2d):	\$
3. Plan review fees	
(a) Plan review (% x permit fee [2a]):	\$
(b) Fire and life safety (% x permit fee [2a]):	\$
(c) Subtotal of fees above (3a and 3b):	\$
4. Miscellaneous fees	
(a) Seismic fee, 1% (.01 x permit fee [2a]):	\$
TOTAL fees and surcharges (2e+3c+4a):	\$



Wildfire Mitigation Plan Submittal Form

Instructions: Identify in each section how compliance with R327.4 Wildfire Hazard Mitigation requirements are achieved (Check and fill in information for all that applies).

Roofing (R327.4.3)

Note: There are additional requirements for preventing intrusion of embers and flames in open spaces between roofing and roof decking and additional flashing requirements.

	Material (Minimum Class B)	Manufacturer	Product Name	Fire-Resistance Rating Class A or B

Rain Gutters (R327.4.3.1)

Non-combustible rain gutter with non-combustible corrosion-resistant screening.

Vents (Flame and Ember-Resistant): Eave, Soffit, Cornice, and Ceiling <12 feet above grade or surface below (R327.4.4)

	Location	Manufacturer	Product Name	Approval Listing #

All Other Vents (R327.4.4)

	Material
	Corrosion-resistant with maximum 1/8" non-combustible corrosion-resistant metal mesh

Exterior Wall Covering (R327.4.5)

Note: There are additional requirements for how wall coverings terminate.

For combustible siding/wall covering, fill out the following table or explain how you will achieve requirements:

	Location	Orientation	Material	Manufacturer	Product Name	Approval Listing #
	One layer of minimum 5/8" exterior grade Type X behind covering or 1-hour fire-resistive assembly					

Overhanging Projections, Roof Eaves, Soffits, Cornices, Patio/Porch Ceilings, or Underfloor Protection of Elevated Structures (R327.4.6.1.4)

Note: Gable end overhangs beyond an ext. wall other than at the lower end of rafter tails are exempt.

	Location	Material	Manufacturer	Product Name	Approval Listing #
	One layer of minimum 5/8" exterior grade Type X behind covering or 1-hour fire-resistive assembly				

Walking Surfaces (R327.4.7)

Note: Fill this in for any combustibile surface decking material planned. If none, label N/A.

	Material	Manufacturer	Product Name	Approval Listing #

Glazing in Windows, Doors, Skylights (R327.4.8)

	Material
	All, dual glazing, tempered glass, glass block, or a fire resistance rating of not less than 20 min.

Applicant Name _____

Applicant Signature _____

Date _____

R327.4 Wildfire Hazard Mitigation Construction Guide for Wildfire Hazard Zones



Underfloor and Attic Vents

ORSC Section R327.4.4

All Vents:

All vents shall have screening made of corrosion-resistant metal mesh with minimum 1/16" and maximum 1/8" grid **or** be designed to resist flame and ember intrusion (ASTM E2886).

Eave, Soffit, and Cornice Vents less than 12' above grade or surface:

All vents shall have screening made of corrosion-resistant metal mesh with minimum 1/16" and maximum 1/8" grid **and** be designed to resist flame and ember intrusion (ASTM E2886).

Roofing

ORSC Section R327.4.3

Roofing shall be asphalt, slate, metal, tile, clay, concrete, or equivalent minimum Class B. **Wood shingle or shake materials are prohibited.** Cap off or fire block spaces between roofing and roof deck to prevent flame and ember intrusion and provide galvanized valley flashing where valley flashing is installed.

Walking Surfaces

ORSC Section R327.4.7

Deck, porch, and balcony walking surfaces greater than 30" and less than 12' above grade or the surface below shall be constructed of minimum 2" nominal lumber for decks <= 200 sq. ft., non-combustible, ignition-resistant conforming to ASTM E84 or UL 723, exterior fire retardant treated wood, meets ASTM E2632 and ASTM 2726 criteria, or meets ASTM E2632 with ignition-resistant wall covering.

Rain Gutters

ORSC Section R327.4.3.1

Non-combustible materials with provisions to prevent the accumulation of leaves and debris in the gutters (Non-combustible corrosion resistant metal screening).

Underfloor Protection

ORSC Section R327.4.6.4

Underfloor area of elevated structures shall be enclosed or meet non-combustible material, ignition-resistant material, ASTM E2957 compliant, one layer of minimum 5/8" exterior grade Type X applied behind the exterior covering of the underside, or 1-hour fire resistive exterior wall assembly.

Windows, Doors, Skylights Glazing

ORSC Section R327.4.8

Exterior windows, windows within exterior doors, and skylights shall be tempered glass, multilayered glazed panels (typical dual pane), glass block, or have a minimum fire-resistant rating of 20 minutes.



Overhanging Projections

ORSC R327.4.6.1; R327.4.6.2; R327.4.6.3

All enclosed roof eaves, soffits, cornices, exterior patio/porch ceilings and floor projections less than 12' above grade or the surface below shall be covered with either non-combustible material, ignition-resistant material, ASTM E2957 compliant, one layer of minimum 5/8" ext. Type X applied behind the exterior covering, or 1-hour fire resistive exterior wall assembly (Gable end overhangs are exempt).

Exterior Wall Covering

ORSC Section R327.4.5

Wall covering materials shall be noncombustible, ignition-resistant, heavy timber, log wall, or wall assemblies tested in accordance with ASTM E2707. Alternatively, one layer of minimum 5/8" exterior grade Type X applied behind the exterior wall covering or cladding or 1-hour fire resistive exterior wall assembly. Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2" nominal solid wood blocking between rafters at all roof overhangs, or in the case of enclosed eaves or soffits, shall terminate at the underside of the enclosure.





Alternate Method Ruling Application

City of Ashland Building Division
51 Winburn Way • Ashland, OR 97520
(541) 488-5305 • Fax (541) 488-6006

Petitioner Information

Name:		Date:
Business name:		
Address:		
City:	State:	ZIP:
Phone: ()	Fax: ()	
Specialty Code:		Edition (year):
Applicable code section:		
Is the material, design, or method now in use?		

Question Presented

Please explain your reasons for requesting an alternate method ruling. Note any scientific or technical information that supports your reasoning. Attach additional sheets as necessary.

- Denied
- Approved
- Approved with conditions

Building Official _____

Date _____



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520

Phone (541) 488-5305 • Fax (541) 488-6066

Email: Building@ashland.or.us

EXISTING BUILDINGS

Commercial Mechanical HVAC Equipment Checklist

- The addition or replacement of equipment results in an increase in the design gravity load by more than 5 percent of the existing equipment.
- Replacement unit exceeds any dimension of the existing unit by more than 10 percent or 6 inches, whichever is greater.
- Additional modification to structural elements is performed, including re-framing of existing openings.
- Unit is not located in the same location as the previous.
- You are proposing to install conditioning equipment to a non-conditioned or semi-heated space?

If any of the boxes above are checked, plan review is required. Energy compliance forms, and structural design for the structure or attachment to the structure may be required as well.

The following items applicable to your installation are required to be on site for the city inspector at time of inspection. Please check the boxes for all items that apply to your application and sign and date the form below. Completing this form signifies that you are aware of the requirements for inspection approval.

- Equipment attachment to the structure to address potential seismic loads is required pursuant to ASCE 7-16 chapter 13 and 1613 OSSC.
- Economizers are required in accordance with 6.5.1 ASHRAE 90-1-2019.
 - (A common example: Individual fan cooling units exceeding 54,000 BTU's require economizers.)
- Equipment shall comply with the minimum energy efficiencies of Section 6.8 of ASHRAE 90.1-2019.
Energy forms are required to verify compliance prior to permit issuance and shall be provided on site at time of inspection.
- Equipment exceeding 2000 cfm capacity on the return side of the system shall be provided with smoke detection in the return side plenum in accordance with 606 OMSC.
- Equipment required to have smoke detection shall be tested for operation by a third-party inspection agency or qualified person(s) and a written report shall be provided on site at time of inspection.
- Installation instructions and listing information shall be provided on site with a copy of this form at time of inspection.
- A gas line schematic may be required on more complex installations to verify adequacy of the gas line system. See OMSC Section C402
- Outdoor air and ventilation requirements shall be met in accordance with 403.
Exhaust and intake opening locations shall comply with 501.3.1 OMSC.**

By completing this form including signature and date, I agree to comply with the requirements above to obtain final approval of the installation for this application.

Signature _____

Date _____



City of Ashland Building Division
 51 Winburn Way • Ashland, OR 97520
 (541) 488-5305 • Fax (541) 488-6006

Deferred Submittal Form

The purpose of this document is to provide the applicant and the authority having jurisdiction with the information required for a deferred submittal.

1. Check each submittal item that is deferred on the checklist and provide the valuation of each submitted item and an estimated time for each item.
2. As the submitted documents and drawings are prepared for plan review, ensure that the deferred submittal documents are reviewed by the design professional of record per 107.3.4 OSSC. The drawings must have a notation indicating that the submitted documents have been reviewed by the design professional of responsible charge and that they have been found to be in general conformance with the design of the building.
3. Deferred submittal documents and drawings must be submitted and approved prior to the construction/installation of the deferred item.
4. A fee for processing and reviewing deferred submittals shall be 65% of the building permit fee for that portion of the work with a min. set fee of \$100 per item. This fee is in addition to the project plan review fee based on the total project value in accordance with OAR 918-050-0170.

Items which may be deferred include, but are not limited to, the following:

<input checked="" type="checkbox"/>	Deferred Item	Date	Valuation	<input checked="" type="checkbox"/>	Deferred Item	Date	Valuation
	1 Acoustical Ceiling/Suspension System				11 Shelving Systems/Racking Systems		
	2 Engineered trusses/shop drawings				12		
	3 Curtain Wall Systems				13		
	4 Electrical Systems				14		
	5 Emergency Call Systems				15		
	6 Exit Illumination				16		
	7 Fire Stopping				17		
	8 HVAC Systems				18		
	9 Plumbing Systems				19		
	10 Fire rated construction				20		

I certify that the above information is correct, and understand that incorrect or missing information will cause the application to be rejected, resulting in delays for the applicant.

Signature of Applicant

Date

Applicant Name



Community Development Department
 51 Winburn Way, Ashland OR 97520
 541-488-5305 Fax 541-488-6006

DEMOLITION/RELOCATION APPLICATION

Date Received _____

Demo Permit # _____

DESCRIPTION OF PROPERTY

Street Address _____

Assessor's Map #39 1E _____ Tax Lot(s) _____

Details of each structure to be Demolished / Relocated:

Commercial Building: Age _____ Sq. Footage _____ Fixture Count _____

House: Age _____ Sq. Footage _____ (Contact Plumbing Inspector for assistance)

Carport/Garage: Age _____ Sq. Footage _____

Other (Describe) _____: Age _____ Sq. Footage _____

Square footage of impervious surface to be removed (including building footprints): _____

APPLICANT

E-Mail _____

Name _____ Phone _____

Address _____ City _____ Zip _____

PROPERTY OWNER

Name _____ Phone _____

Address _____ City _____ Zip _____

IS THE STRUCTURE EXEMPT FROM AMC 15.04.214 AND 15.04.216?

No Yes (Applicant must submit written justification to support exempt status)

If Yes, select one:

- Structure is less than 500 sq.ft.
- Structure will be relocated on the same lot.
- Structure is declared dangerous under the International Existing Building Code (IEBC) pursuant to AMC 15.04.010.B.

IEBC DEFINITIONS:

Dangerous. Any building, structure or portion thereof that meets any of the conditions described below shall be deemed dangerous.

1. The building or structure has collapsed, partial collapsed, moved off its foundation or lacks the support of ground necessary to support it.
2. There exists a significant risk of collapse, detachment or dislodgment of any portion, member, appurtenance or ornamentation of the building or stature under service loads.

Unsafe. Buildings, structures or equipment that are unsanitary, or that are deficient due to inadequate means of egress facilities, inadequate light and ventilation, or that constitute a fire hazard, or in which the structure or individual structural members meet the definition of "Dangerous", or that are otherwise dangerous to human life or the public welfare, or that involve illegal or improper occupancy or inadequate maintenance shall be deemed unsafe. A vacant structure that is not secured against entry shall be deemed unsafe.

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location found to be incorrect, the owner assumes full responsibility. I further understand that if this request is subsequently contested, the burden will be on me to establish: that I produced sufficient factual evidence at the hearing to support this request; that the findings of fact furnished justifies the granting of the request; that the findings of fact furnished by me are adequate; and further, that all structures or improvements are properly located on the ground. Failure in this regard will result most likely in not only the request being set aside, but also possibly in my structures being built in reliance thereon being required to be removed at my expense. If I have any doubts, I am advised to seek competent professional advice and assistance.

Date

Applicant

Owner

Submittal Requirements for Non-Exempt Structures:

If the structure is non-exempt, the following submittal requirements apply [15.04.214/15.04.216]:

If structure is more than 45 years old and

- A. Structure cannot be rehabilitated or reused on site:
 - Furnish Economic Feasibility report (see details in Section 15.04.216.1.a.i) OR
 - Submit a Marketing Plan approved by the Demolition Review Committee (15.04.216.1.a.ii) OR
 - Submit evidence that the property was advertised in the local newspaper at least eight times and at regular intervals for at least 90 days with appropriate “For Sale” sign for the same 90 day period.
- B. Structure is structurally unsound:
 - Demonstrate how it is unsound

Also submit:

- Redevelopment plan for the site that details the nature, appearance and location of the replacement or rebuilt structure(s).
- Demonstrate, if the application is for a demolition, that the structure cannot be relocated to another site.
- If the application is for a demolition, provide a demolition debris diversion plan outlining how construction and demolition debris will be salvaged or recycled.

If structure is less than 45 years old:

- Provide proof the structure was erected less than 45 years from the date of the application.
- Redevelopment plan for the site that details the nature, appearance and location of the replacement or rebuilt structure(s).

NOTE:

- A. If a Demolition or Relocation permit is issued and the redevelopment plan:
 - a. Requires a site review permit, no demolition or relocation may occur until the site review permit has been issued, unless the site is restricted to open space uses as provided in Section 15.04.216.B.
 - b. Does not require a site review permit, no demolition or relocation may occur until a building permit has been issued for the structure(s) to be replaced or rebuilt unless the site is restricted to open space uses as provided in Section 15.04.216.B.
- B. For any demolition approved, the applicant is required to salvage or recycle construction and demolition debris per approved demolition debris diversion plan.
- C. For any relocation approved, the applicant must also comply with the provision of Chapter 15.08.

FINDINGS OF FACT

Type your response to the appropriate zoning requirements (15.04.216 Demolition and Relocation Standards) on another sheet(s) of paper and enclose it with this form. Keep in mind your responses must be in the form of factual statements or findings of fact and supported by evidence.

City of Ashland Municipal Code - Chapter 15.04.210 Demolition or Relocation of Structures

- A. For purposes of sections 15.04.210 through 15.04.218, the following terms, phrases, words and their derivations mean:
1. Demolition: To raze, destroy, dismantle, or any act or process that may cause partial or total destruction of a structure where less than 60% of the structure's external walls will be retained in place; or where less than a majority of the facade will remain.
 2. Facade: The front or principal face(s) of a building, excluding an attached garage of a residential structure, sometimes distinguished from the other faces by elaboration of architectural or ornamental details and often serving as the primary entrance.
- B. Except as provided in section 15.04.210.D, a permit is required before any structure, or part of a structure as defined in subsection A.1 above, can be demolished or relocated. The permit fees for demolition or relocation of a structure will be set by resolution of the council.
- C. No demolition or relocation permit is required:
1. For structures of less than 500 square feet in size.
 2. For relocation of a structure upon the same lot.
 3. To demolish a building declared to be dangerous under the Uniform Code for the Abatement of Dangerous Buildings pursuant to section 15.04.010.B.
- D. In addition to the enforcement provisions of this Title, the City Attorney may, or upon order of the City Council shall, immediately commence action or proceedings for the prevention of the demolition or relocation of a structure in the manner provided by law, and may take such other steps and apply to such courts as may have jurisdiction to grant such relief as will prevent the demolition, moving, removal, or damage to a building or structure, or using property contrary to the provisions of this Title. The remedies provided for in this section shall be cumulative and not exclusive.
1. For any demolition or relocation in violation of sections 15.04.210 to 15.04.218, the court shall also have the authority to order the person convicted of the violation to rebuild or restore the structure to its appearance prior to the demolition or to move and restore the building to its original site.
 2. For any flagrant violation, the court may impose a fine up to and including the assessed market value of the structure demolished or relocated. A flagrant violation is an act by a person who, after being notified of a violation, intentionally continues it.

City of Ashland Municipal Code - 15.04.214 Approval Process

Applications for demolition or relocation permits will be processed as follows:

- A. A complete application must be submitted to the building official and must include all of the required information for the specific action requested. The application must be signed by one or more property owners of the property where the structure is located. The application must be accompanied by the appropriate application fee.
- B. Within 14 days after receipt of a complete application, the building official will approve, approve with conditions, or deny the application unless such time limitation is extended with the consent of the applicant. Notice of the decision of the building official will be mailed to the applicant within seven days of the decision.
- C. If the application is approved, or if the application is denied and the applicant desires a hearing before the Demolition Review Committee, the applicant must post and publish a notice of the decision. The notice must be posted on the property in such a manner as to be clearly visible from a public right-of-way and be posted within 5 business days of the date the applicant received the decision. In addition, the notice must be published in a newspaper of general circulation within the city at least 7 days prior to the date requests for hearing must be filed.
- D. The applicant or any person may request a hearing before the Demolition Review Committee by filing a request for a hearing with the building official. The request for a hearing must:
1. Be in writing and be filed within ten days of the date of the decision, if the request is by the applicant. Otherwise the request must be filed within ten days of the date the notice is posted or 7 days after the notice is published, whichever date is later.

2. Contain the specific grounds for which the decision should be reversed or modified, based on the applicable demolition or relocation standards.

E. The following information is required to be contained in the notices required by this section.

1. Notice of the decision by the building official described in subsection B above is to contain the following information:

- a. The decision of the building official and the date of the decision.
- b. The requirements of the applicant for posting and publishing notice of the decision.
- c. A statement that no hearing will be held before the Demolition Review Committee unless specifically requested.
- d. A statement that a request for a hearing by the applicant must be made within 10 days of the date the applicant received the decision and that a request for a hearing must include:
 - i. The name and address of the applicant,
 - ii. the file number of the demolition or relocation application, and
 - iii. the specific grounds for which the decision should be reversed or modified, based on the applicable demolition or relocation standards.

2. The posted and published notices described in subsection C above must contain:

- a. A brief description of the approval and the application file number,
- b. The phone number and address of the building official,
- c. The date the notice was posted, and
- d. A statement that anyone who objects to the approval must file a request for a hearing on a form furnished by the building official, by a date not more than 10 days from the date the notice was posted or seven days from the date the notice was published in the newspaper, whichever date is later.

F. If a request for a hearing is timely received, the Demolition Review Committee will conduct a hearing at least 15 days, but not more than 30 days, from the date of the request.

G. Notice for hearings before the Demolition Review Committee will be published in a daily newspaper of general circulation within the city at least 10 days prior to the hearing and mailed to the applicant or authorized agent at least 10 days prior to the hearing. In addition a notice must be posted on the property by the applicant in such a manner as to be clearly visible from a public right-of-way at least 10 days prior to the date of the hearing. The applicant must certify, for the record of the hearing, that the posting was accomplished. The posted notice must contain a brief description of the proposal, the time, date and place of the hearing, and the phone number and address for contact with the building official.

H. Within 15 days of the hearing, or within 15 days of the receipt of the report described in section 15.04.216.A.1 is received, whichever date is later, the Demolition Review Committee shall issue its decision in writing and mail it to the applicant and all persons who appeared and spoke at the hearing.

I. The decision of the Demolition Review Committee may be appealed to the council by the applicant or someone who spoke at the hearing. In addition, the council may review the decision on its own motion. The decision is appealed by filing a notice of appeal with the city manager. The appeal fee, as set by resolution of the council, must accompany the notice of appeal. The appeal must be filed within 15 days of the date the decision of the committee is mailed. The appeal notice must contain:

1. The appellant's name and address,
2. A reference to the decision sought to be reviewed,
3. A statement that the appellant is the applicant or someone who appeared and testified at the hearing,
4. The date of the decision being appealed, and
5. The specific grounds for which the decision should be reversed or modified, based on the applicable standards.

J. The notice of appeal, together with notice of the date, time and place of the hearing on the appeal by the Council will be mailed to those who appeared at the hearing before the Demolition Review Committee at least 20 days prior to the hearing. The appeal before the council shall be a de novo hearing based solely on the evidence in the record made before the Demolition Review Board. The applicant shall have the burden to prove the standards have been met. The council may affirm, reverse or modify the decision and may approve or deny the request, or grant approval with conditions. The Council shall make findings and conclusions, and make a decision based on the record before it as justification for its action. The Council shall cause copies of a final order to be sent to all persons participating in the appeal.

City of Ashland Municipal Code - 15.04.216 Demolition and Relocation Standards

- A. For demolition or relocation of structures erected more than 45 years prior to the date of the application:
1. The applicant must demonstrate that either subparagraphs a or b apply:
 - a. The structure cannot be rehabilitated or reused on site as part of any economically beneficial use of the property. In determining whether an economically beneficial use can be made of the property, the Demolition Review committee may require the applicant to:
 - (i) Furnish an economic feasibility report prepared by an architect, developer, or appraiser, or other person who is experienced in rehabilitation of buildings that addresses the estimated market value of the property on which the building lies, both before and after demolition or removal, or
 - (ii) Market the property utilizing a marketing plan approved by the Demolition Review Committee or by advertising the property in the Ashland Daily Tidings and Medford Mail Tribune at least eight times and at regular intervals for at least 90 days and by posting a for sale sign on the property, four to six square feet in size and clearly visible from the street, for the same 90 day period.
 - b. The structure proposed for demolition is structurally unsound despite efforts by the owner to properly maintain the structure.
 2. In addition to subparagraphs a or b above, the applicant must also:
 - a. Submit a redevelopment plan for the site that provides for replacement or rebuilt structure for the structure being demolished or relocated. The replacement or rebuilt structure must be a minimum of 1,000 square feet, unless the structure being demolished or relocated is less than 1,000 square feet. If the structure is less than 1,000 square feet, the replacement structure must be a minimum of 500 square feet. The redevelopment plan must indicate in sufficient detail the nature, appearance and location of all replacement or rebuilt structures. No replacement structure is required, however, if:
 - (i) the applicant agrees to restrict the property to open space uses and a finding is made that such restriction constitutes a greater benefit to the neighborhood than redevelopment would, or
 - (ii) the structure being demolished or relocated is a nonhabitable accessory structure.
 - b. Demonstrate, if the application is for a demolition, the structure cannot be practicably relocated to another site.
 3. If a permit is issued and the redevelopment plan:
 - a. Requires a site review permit, no demolition or relocation may occur until the site review permit has been issued, unless the site is restricted to open space uses as provided in section [15.04.216.A.2](#).
 - b. Does not require a site review permit, no demolition or relocation may occur until the building permit has been issued for the replacement or rebuilt structure, unless the site is restricted to open spaces uses as provided in section [15.04.216.A.2](#).
 4. The Demolition Review Committee may require the applicant to post with the City a bond, or other suitable collateral as determined by the city manager, ensuring the safe demolition of the structure and the completed performance of the redevelopment plan.
- B. For demolition or relocation of structures erected less than 45 years from the date of the application:
1. The applicant:
 - a. Has the burden of proving the structure was erected less than 45 years from the date of the application. Any structure erected less than 45 years from the date of the application, which replaced a structure demolished or relocated under section [15.04.216](#), shall be considered a structure subject to the standards in subsections [15.04.216](#).
 - b. Must submit a redevelopment plan for the site that provides for a replacement or rebuilt structure being demolished or relocated. The replacement or rebuilt structure must be a minimum of 1,000 square feet, unless the structure being demolished ore relocated is less than 1,000 square feet. If the structure is less than 1,000 square feet, the replacement structure must be a minimum of 500 square feet. The redevelopment plan must indicate in sufficient detail the nature, appearance and location of all replacement or rebuilt structures. No replacement structure is required, however, if:
 - (i) the applicant agrees to restrict the property to open space uses and a finding is made that such restriction constitutes a greater benefit to the neighborhood than redevelopment would, or
 - (ii) the structure being demolished or relocated is a nonhabitably accessory structure.
 2. If a permit is issued and the redevelopment plan:
 - a. Requires a site review permit, no demolition or relocation may occur until the site review permit has been issued, unless the site is restricted to open space uses as provided in section [15.04.216.B](#).

b. Does not require a site review permit, no demolition or relocation may occur until a building permit has been issued for the structure or structures to be replaced or rebuilt, unless the site is restricted to open space uses as provided in section [15.04.216.B](#).

C. For any demolition approved under this section, the applicant is required to salvage or recycle construction and demolition debris, in accordance with a demolition debris diversion plan that complies with the requirements adopted the Demolition Review Committee. The applicant shall submit such a plan with the application for demolition. For any relocation approved under this section, the applicant must also comply with the provisions of Chapter [15.08](#).

Building Demolition Debris Diversion

If the amount of waste generated in demolition for any item exceeds the threshold noted below, then you must divert it from the waste stream headed for the landfill. Consult the resources noted for specific charges and conditions of acceptance.

ITEM	THRESHOLD	RESOURCES
Asphalt	1 cubic yard	Quality Rock (541)482-8000
Brush	1 cubic yard	Ashland Recology (541) 482-1471
Corrugated Cardboard	Any	Ashland Sanitary & Recycling (541) 482-1471
Concrete & Brick containing no metal or rebar	1 cubic yard	Quality Rock (541) 482-8000
Concrete & Brick w/metal or rebar	1 cubic yard	Quality Rock (541) 482-8000
Ferrous Metal Scrap	10 cubic yards	Ashland Sanitary & Recycling (541) 482-1471 Schnitzer Steel (541) 826-5758
Lumber, untreated unless 2/creosote, may have small ferrous metals such as nails, thin truss connector plates, etc.	1 cubic yard	Ashland Recology (541) 482-1471
Yard Debris	1 cubic yard	Ashland Sanitary & Recycling (541) 482-1471

EXCAVATION PERMIT CHECKLIST

CITY OF ASHLAND - BUILDING DIVISION

LOCATION: _____

Applicant: _____

Phone # _____

YES NO N/A

YES	NO	N/A	
			Project name
			Project Engineer(s) or Developers name and phone number
			Signed plat or tentative plat, signed by Engineering Dept.
			Site plat for all utilities - Approved by Public Works Dept.
			Storm, Sewer & Water (Public / Private)
			Electric, including location of transformers) signed by Electric Dept.
			Soils Engineers / geology report
			Contour Map showing: Elevation cuts, Fills and Yardage (approx. cu.yds.)
			Retaining walls
			Easements / Right of Way: Location / Type
			Roads: Public or Private
			Utilities under Roads / Driveways: Public or Private
			Building Dept. Permit required
			Plumbing Description
			Electric Description
			Structural Description

Point Person for Public Works: _____

Signature of Applicant submitting plans

Inspector

Date

* This list does not constitute a plan review



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
 Phone (541) 488-5305 • Fax (541) 488-6066
 Email: Building@ashland.or.us

Existing Building Permit Form

Permit #:	Applicant Info:
Job Site Address:	Flood plain:
Historic Review:	

- In accordance with Chapter 3403.1.3 OSSC, the applicant is required to provide the compliance path for review. Compliance methods shall not be applied in combination with each other.
- The general provisions for all compliance paths are found in Chapter 34 of the OSSC. <https://codes.iccsafe.org/content/ORSSC2022P1/chapter-34-existing-buildings>

Check the boxes the apply:

<input type="checkbox"/>	Repair/voluntary structural retrofit
<input type="checkbox"/>	Alteration
<input type="checkbox"/>	Addition
<input type="checkbox"/>	Change of occupancy/use
<input type="checkbox"/>	Moved/relocated

Check one of the 4 paths below and each box under the path that applies:

<input type="checkbox"/>	Repair/voluntary work only - Sections 3404 and 3405 OSSC
<input type="checkbox"/>	Structural damage to vertical elements of lateral force-resisting system 3404.5.2.3
<input type="checkbox"/>	Structural damage to gravity load-carrying components 3404.5.2.4
<input type="checkbox"/>	Voluntary lateral force-resisting system 3405.3.13
<input type="checkbox"/>	Prescriptive compliance method Section 3405 OSSC
<input type="checkbox"/>	Additions 3405.2
<input type="checkbox"/>	Alteration 3405.3
<input type="checkbox"/>	Change of occupancy 3405.6
<input type="checkbox"/>	Accessibility 3403.6
<input type="checkbox"/>	Historic building 3405.7
<input type="checkbox"/>	Work area compliance method Sections 3406 – 3412 OSSC
<input type="checkbox"/>	Alteration level I 3407
<input type="checkbox"/>	Alteration level II 3408
<input type="checkbox"/>	Alteration III 3409
<input type="checkbox"/>	Change of occupancy/use 3410
<input type="checkbox"/>	Addition 3411
<input type="checkbox"/>	Accessibility 3403.6
<input type="checkbox"/>	Historic building 3412
<input type="checkbox"/>	Performance compliance method Section 3413 OSSC (investigation/evaluation to be provided to the Jurisdiction for this method)
<input type="checkbox"/>	Fire safety, means of egress and general safety 3413.1.5
<input type="checkbox"/>	Structural analysis (required when using this path) 3413.1.4.1
<input type="checkbox"/>	Accessibility 3403.6



**ASHLAND FIRE & RESCUE
FIRE & LIFE SAFETY DIVISION**

**Fire Sprinkler Affidavit for Alterations; Up to 10 Sprinkler Heads Without Plans
Submit to Ashland Building Department with Tenant Improvement Plans**

DATE: _____ PERMIT #: _____
JOB ADDRESS: _____ SUITE: _____
PROJECT NAME: _____ OCCUPIED AS: _____
CONTRACTOR: _____ PHONE: _____
CONTRACTOR ADDRESS: _____
VALUATION OF WORK \$: _____ NUMBER OF ALTERED HEADS (MAX 10): _____
DESCRIPTION OF WORK: _____

I CERTIFY THAT THE FOLLOWING IS TRUE AND REASONABLY DEFINES THE SCOPE OF WORK FOR THIS PROJECT

- A) PIPING INVOLVES BRANCH LINES OR PIPING DIRECTLY CONNECTED TO SPRINKLER HEADS OR CONNECTED THROUGH ARM-OVERS
- B) NO FLEX HEADS ALLOWED WITHOUT PLAN REVIEW
- C) THERE IS NO CHANGE IN HAZARD CLASSIFICATION OR COMMODITY CONFIGURATION
- D) POSITIONS OF SPRINKLER HEADS RELATIVE TO ARCHITECTURAL FEATURES SUCH AS SOFFITS, BEAMS, PARTITIONS, WALLS, ETC. COMPLIES WITH THE CURRENT ADOPTED EDITION OF NFPA 13.
- E) THE PROPOSED WORK DOES NOT REQUIRE HYDRAULIC CALCULATIONS/DOES NOT CREATE A NEWLY HYDRAULICALLY REMOTE AREA.
- F) ONLY ONE SPRINKLER HEAD WILL BE INSTALLED FROM ONE DROP (EXCEPTION: UP TO TWO HEADS FROM ONE DROP MAY BE INSTALLED WHEN EACH HEAD IS IN A SEPARATE FIRE AREA).
- G) THE AREA COVERED PER SPRINKLER HEAD IS LIMITED TO THE SPACING REQUIREMENTS OF NFPA 13.
- H) TENANT IMPROVEMENTS IN A NEW BUILDING SHALL BE EQUIPPED WITH QUICK RESPONSE HEADS
- I) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF CURRENTLY ADOPTED NFPA 13.
- J) WORK SHALL NOT BE COVERED UNTIL PIPING, HANGERS AND BRACING ARE INSPECTED.
- K) FINAL APPROVAL SHALL BE SUBJECT TO ONSITE TESTS AND INSPECTIONS.

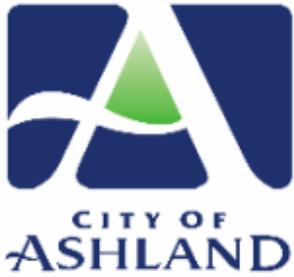
IN ADDITION, I UNDERSTAND THE FOLLOWING IS REQUIRED

A SKETCH ATTACHED TO THIS DOCUMENT SHOWING THE AREA OF WORK WITHIN THE BUILDING'S STRUCTURE, AND

A COPY OF THIS DOCUMENT SHALL BE AVAILABLE FOR ALL INSPECTIONS

THE BUILDING AND FIRE DEPARTMENT RESERVES THE RIGHT TO REQUIRE PLANS AND CALCULATIONS AS DETERMINED DURING THE FIELD INSPECTION

SIGNATURE _____ DATE _____



Moisture Content & High-Efficiency Interior & Exterior Lighting System Acknowledgment Form

I, _____, am the authorized agent or the owner at the following address:

Street Address

City

State

Zip Code

Permit #

- A) R318.2 Moisture Content.** Prior to the installation of interior finishes, the *Building Official* shall be notified in writing by the general contractor that all moisture-sensitive wood framing member used in construction have a moisture content of not more than 19 percent of the weight of dry wood framing members.
- B) N1107.2 High-Efficiency Lamps.** All permanently installed lighting fixtures shall be high-efficiency light sources. **Exception:** Two permanently installed lighting fixtures are not required to be high-efficiency light sources when controlled by a dimmer or automatic control.
- C) N1107.3 High-Efficacy Exterior Lighting** – Same requirements as N1107.2 above.

By signing below, I certify that I will meet the required minimums for the above mentioned building codes.

Print Name: _____

Signed: _____ Date: _____

(Circle One) Owner/General Contractor/Authorized Agent



ACKNOWLEDGMENT FOR NON-CONDITIONED BUILDINGS

City of Ashland Building Division
51 Winburn Way • Ashland, OR 97520
(541) 488-5305 • Fax (541) 488-6006

Dear Building Owner,

Thank you for working with the City of Ashland Building Department to secure the necessary permits to construct the proposed building.

When electing to construct a non-conditioned building, this acknowledgement form must be signed. In so doing, you are indicating that you are aware that at some future date after the issuance of the certificate of occupancy, if you decide to condition the building, you will be required to meet all of the current energy code requirements.

Retrofitting existing buildings to comply with the energy code requirements is often burdensome and expensive. It is not recommended to retrofit existing buildings when it is feasible to construct the energy code requirements into the building during the initial construction.

Property Owner Signature _____

Date _____



City of Ashland Building Division
 51 Winburn Way • Ashland, OR 97520
 (541) 488-5305 • Fax (541) 488-6006

Phase Submittal Form

The purpose of this document is to provide the applicant and the authority having jurisdiction with the information required for a phased submittal.

1. Check each submittal item that is phased on the checklist.
2. The building official is authorized to issue a permit for the construction of foundations or any other part of a building or structure before the construction documents for the whole building or structure have been submitted, provided adequate information and detailed statements have been filed complying with pertinent requirements of this code. ***The holder of such a permit for the foundation or other parts of the building or structure shall proceed at the holder's own risk with the building operation and without assurance that a permit for the entire structure will be granted.***
3. Phased submittal documents and drawings must be submitted and approved prior to the construction/installation of the phased item.
4. Additional fees will be charged for this procedure. \$275 minimum phasing fee plus 10% of the total project building permit fee not to exceed \$1500 for each phase.

Items which may be phased include, but are not limited to the following:

<input checked="" type="checkbox"/>	Phased Item	Date
1.	Foundation	
2.	Shell Building	
3.	Tenant Improvement #1	
4.	Tenant Improvement #2	
5.	Tenant Improvements #3	
6.	Tenant Improvements #4	
7.	Tenant Improvements #5	
8.	Tenant Improvements #6	

OAR 918-050-0160. A municipal plan review fee for a phased project is based on a minimum phasing fee, determined by the municipality, plus 10 percent of the total project building permit fee not to exceed \$1,500 for each phase.

I certify that the above information is correct, and understand that incorrect or missing information will cause the application to be rejected, resulting in delays for the applicant.

 Signature of Applicant

 Date

Total Valuation of entire project (For office use only)

\$ _____



City of Ashland Building Division
51 Winburn Way • Ashland, OR 97520
(541) 488-5305 • Fax (541) 488-6006

Property Owner Pool Barrier Acknowledgement Form

Dear Property Owner,

Thank you for working with the City of Ashland Building Department to secure the necessary permits to construct a swimming pool and pool barrier.

Due to the hazardous nature of swimming pools to the property owner and surrounding neighbors, the State of Oregon mandates adequate pool barriers be in place to enclose swimming pools.

Contractors do not always include the construction of pool barriers in their contract. As a result, often pool barriers are not constructed adequately to protect from accidental drownings.

Pool barriers are a requirement for final approval of the swimming pool permit process. Ultimately, the responsibility of the pool and barrier placement belong to the property owner regardless of who applies for the permit. Once the pool construction is complete, pool barriers shall be in place and the City of Ashland Building Department shall be notified for inspection. Pool, mechanical, plumbing and electrical inspections shall all be scheduled as applicable to the project. Failure to schedule an inspection for the pool and pool barrier upon completion of construction may result in fines assessed to the property owner.

Your signature represents your acknowledgment to comply with the pool barrier codes and permit process.

Property Owner Signature _____

Date _____



20 East Main St
Ashland, OR 97520

REQUEST FOR PUBLIC RECORDS

The following information is to be filled out by the person requesting records:

Date of Request: _____

Requestor's Name: _____

Address: _____

City: _____ State: _____ Zip: _____ Phone: _____

If this is an emergency request, indicate the date desired and please describe the nature of the emergency:

RECORDS REQUESTED: (Please state the title and date of the record(s) being requested) _____

Please describe any additional information that will help us locate the records for you as quickly as possible:

Requestor's Signature: _____ **Date:** _____

For City Use Only

Staff person who received the Request: _____ Date: _____

Number of Copies: _____ Total Charge: _____

Staff person who provided the records: _____

Date: _____ Client Name Receiving records: _____

Request for Reproduction of Copyrighted Materials

NOTE: THIS FORM MUST BE PROPERLY COMPLETED FOR THE CITY OF ASHLAND TO ACCEPT YOUR COPY REQUEST. (FEDERAL COPYRIGHT LAW CAN BE FOUND IN TITLE 17 OF THE UNITED STATES CODE)

Name: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Email: _____

I hereby request copies of the following materials: _____

for the project: _____
(name of project)

located at: _____
(street address)

Please check any that apply:

- I am not required to obtain a copyright release from the copyright owner because:
 - I intend to use the copies made for purposes such as:
 - Research**, **Comment**, **News reporting**, **Teaching**, **Criticism, or**
 - Scholarship**, as allowed by the doctrine of fair use (17 U.S.C. § 107). I understand I cannot use the requested copies for commercial gain under any circumstances.
 - The materials were created prior to March 1, 1989, and there is no copyright notice on the plans.
 - The materials were created prior to 1923, and therefore are in the public domain.
- I have been granted copying privileges by the copyright owner. (Please attach a copy of the permission letter or copyright release from the copyright owner.)

I hereby agree to defend, indemnify and hold harmless the City of Ashland, its officers, employees and agents from and against any and all claims, suits, actions, damages and liabilities arising out of or related to any copyright violation claim(s) made against the City of Ashland as a result of the reproduction of any materials identified in this request.

(Initial here)

By signing below, I verify that I have read and understand all terms set forth herein:

Signature: _____

Date: _____

Frequently Asked Questions on the Request for Reproduction of Copyrighted Materials Form

The City maintains a record of approved architectural drawings as a reference. The architectural drawings are available for review; however, copyright law protects the duplication of these drawings without the owner's consent.

Q: What is a copyright?

A: A copyright is the exclusive right of the copyright holder to copy, reproduce, or make derivative works of their copyrighted material, such as architectural plans and drawings.

Q: Why is the City treating architectural works (plans and drawings) differently than other types of documentation?

A: While many types of work may be eligible for copyright protection, architectural works are given specific protection under U.S. Copyright law. (An architectural work is "the design of a building as embodied in any tangible medium of expression, including a building, architectural plans or drawings. The work includes the overall form as well as the arrangement and composition of spaces and elements in the design but does not include individual standard features.")

Q: Why is the City saying architectural plans are copyrighted if I don't see the © symbol on it?

A: There are a few reasons. On and after March 1, 1989, it was no longer necessary for copyright holders to place the symbol on a work for it to have copyright protection. Also, architectural works are given specific protection under U.S. Copyright law.

Q: Doesn't Oregon Public Records Law mean the City has to give copies to the public?

A: No. Federal copyright law supersedes Oregon Public Records law. Requestors still do have the right to view copyrighted material under the Public Records law but may not make copies of the material without the copyright owner's consent.

Q: Who is the "owner" of a copyright?

A: The "owner" is the party that holds the copyright and has the exclusive right to allow copies of the work. For architectural works such as plans and drawings, this may be either the architectural firm that drew the plans, or the party that hired the architectural firm as "work for hire," such as a builder or individual homeowner.

Q: How can a customer determine who holds the copyright on plans or drawings?

A: The customer may view the plans/drawings and investigate who owns the plans/drawings by contacting the architect or owner represented on the plans. The City accepts that the customer has done their due diligence in investigating ownership and obtaining the proper release or making a determination that their use qualifies as "fair use."

Q: How do I know if I'm qualified to copy under fair use?

A: This is not an easy question to answer, but in general, it is acceptable to copy if it is for purposes such as criticism, comment, news reporting, teaching, scholarship, or research. It is also generally acceptable to copy small portions of a plan for limited, non-commercial use, such as a copy of a particular section in order to locate electrical or a support wall etc. It is not acceptable to copy a full set of plans or drawings to avoid having to pay the owner for copies of those plans. It is not fair use if the purpose is to gain commercial advantage.

Q: Can someone get a copy of plans or drawings for a replacement set, for deferred submittal or revisions without a copyright release or permission letter from the copyright owner?

A: No. They need a release or permission letter signed by the copyright owner.

Q: What do we do with the copyright release or permission letter?

A: Give the signed release or permission letter to the City Recorder along with the Request for Reproduction of Copyrighted Materials and Public Records Request forms.

Q: What if the owner of the plans is deceased or unavailable to fill out this form?

A: Copyright exists for the life of the owner plus 70 years, so death does not automatically extinguish copyright protections.



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
 Phone (541) 488-5305 • Fax (541) 488-6066
 Email: Building@ashlandoregon.gov

2023 ORSC Residential Energy Form

RESIDENTIAL INFORMATION

Date: _____ Permit Number: _____
 Applicant's Name: _____ Signature: _____
 Job Address: _____ City: _____ State: _____ Zip: _____

INSTRUCTIONS

Please select the type of construction below; sign, date, and complete the entire form. Submit this form with your permit application or your project will be placed on hold until the required information is provided.

New Construction. All conditioned spaces within residential buildings must comply with Table N1101.1(1) and one additional measure from Table N1101.1(2) on page 2.

Additions. Additions to existing buildings or structures may be made without making the entire building or structure comply if the new additions comply with the requirements of this chapter. (N1101.3)

Large Additions. Additions that are equal to 600 square feet (55 m²) in area must comply with Table N1101.1(2) on page 2. (N1101.3.1) *(Note: You must select one measure.)*

Small Additions. Additions that are less than 600 square feet in area must select one measure from Table N1101.1(2) on page 2 or comply with Table N1101.3 on page 2. (N1101.3.2)

Exception: Additions that are less than 225 square feet in area are not required to comply with Table N1101.1(2) or Table N1101.3.

Change of Use of Occupancy
 See additional information on page 4 of this document for further clarification.

Alterations and Repairs

Note: N1101.2.3 change of occupancy or use. Definition of "Change of use" for purposes of Section N1101.2.3 is a change of use in an existing residential building and shall include any of the following: any unconditioned spaces such as an attached garage, basement, porch, or canopy that are to become conditioned spaces; any unconditioned, inhabitable space that is to become conditioned space, such as a large attic. **Change of Use, see Section N1101.2.3.1. Change of Occupancy, see Section N1101.2.3.2.**

**TABLE N1101.2
 EXISTING BUILDING COMPONENT REQUIREMENTS**

BUILDING COMPONENT	REQUIRED PERFORMANCE	EQUIVALENT VALUE
Wall insulation	U-0.083	R-15
Flat ceiling	U-0.025	R-49
Vaulted ceiling > 10 inches nominal rafter depth	U-0.040	R-25
Vaulted ceiling > 8 inches nominal rafter depth	U-0.047	R-21
Underfloor > 10 inches nominal joist depth	U-0.028	R-30
Underfloor > 10 inches nominal joist depth	U-0.039	R-25
Slab-edge perimeter	N/A	N/A
Windows and glazed doors	U-0.30	U-0.30
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	R-5

For SI: inch-25.4mm, 1 square foot = 0.0929m²



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TABLE N1101.3 – SMALL ADDITION ADDITIONAL MEASURES (SELECT ONE)

<input type="checkbox"/>	1.	Increase the ceiling insulation of the existing portion of the home as specified in Table N1101.2.
<input type="checkbox"/>	2.	Replace all existing single-pane wood or aluminum windows to be U-value as specified in Table N1101.2.
<input type="checkbox"/>	3.	Insulate the existing floor, crawl space, or basement systems as specific in Table N1101.2 and install 100 percent of permanently installed lighting fixtures as CFL, LED, or linear fluorescent, or a minimum efficacy of 40 lumens per watt as specified in Section N1107.2.
<input type="checkbox"/>	4.	Test the entire dwelling with blower door and exhibit no more than 4.5 air changes per hour @ 50 Pascals.
<input type="checkbox"/>	5.	Seal and performance test the duct system.
<input type="checkbox"/>	6.	Replace existing 80 percent AFUE or less gas furnace with a 92 percent AFUE or greater system.
<input type="checkbox"/>	7.	Replace existing electric radiant space heaters with a ductless mini-split system with a minimum HSPF of 10.0 or HSPF2 of 9.0
<input type="checkbox"/>	8.	Replace existing electric forced air furnace with an air source heat pump with a minimum HSPF of 9.5 or HSPF2 of 8.1.
<input type="checkbox"/>	9.	Replace existing water heater with a water heater meeting: <ul style="list-style-type: none"> • Natural gas/propane water heater with minimum UEF 0.90, or • Electric heat pump water heater with minimum 3.45 UEF

TABLE N1101.1(2) ADDITIONAL MEASURES

<input type="checkbox"/>	1.	HIGH EFFICIENCY HVAC SYSTEM a. Gas-fired furnace or boiler AFUE 94%, or b. Air source heat pump HSPF 10.0/14.0 SEER cooling, of 8.5 HSPF2/15.0 SEER2, or c. Ground source heat pump COP 3.5 or Energy Star rated
<input type="checkbox"/>	2.	HIGH EFFICIENCY WATER HEATING SYSTEM a. Natural gas/propane water heater with minimum UEF 0.90, or b. Electric heat pump water heater with minimum 3.45 UEF, or c. Natural gas/propane tankless/instantaneous heater with minimum 0.80 UEF and Drain Water Heat Recovery Unit installed on minimum of one shower/tub-shower
<input type="checkbox"/>	3.	WALL INSULATION UPGRADE Exterior walls – U-0.045/R-21 conventional framing with R-5.0 continuous insulation
<input type="checkbox"/>	4.	ADVANCED ENVELOPE Windows – U-0.21 (Area weighted average), and Flat ceiling – U-0.017/R-60, and Framed floors – U-0.026/R-38 or slab edge insulation to F-0.48 or less (R-10 for 48", R-15 for 36", or R-5 fully insulated slab)
<input type="checkbox"/>	5.	DUCTLESS HEAT PUMP For dwelling units with all-electric heat provide: <ul style="list-style-type: none"> • Ductless heat pump of minimum HSPF 10 or HSPF2 9.0 in primary zone replaces zonal electric heat sources, and • Provide programmable thermostat for all heaters in bedrooms
<input type="checkbox"/>	6.	HIGH EFFICIENCY THERMAL ENVELOPE UA Proposed UA is 8 percent lower than the code UA
<input type="checkbox"/>	7.	2.75 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION Achieve a maximum of 2.75 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system, including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent and total fan efficacy of 1.6 CFM/Watt (combined input for supple and exhaust).

Choose one of the following methods to meet the Mechanical Whole-House Ventilation System requirements (see BCD technical bulletin)	
<input type="checkbox"/>	Supply and exhaust fans providing continuously-operating, balanced, WHV without a furnace.
<input type="checkbox"/>	Supply and exhaust fans providing continuously-operating, balanced, WHV with a furnace.
<input type="checkbox"/>	Central Fan Integrated Supply (CFIs) continuously-operating, balanced WHV. Furnace serves as the intake fan. Shall be interlocked with exhaust system and an override switch.
<input type="checkbox"/>	Heat recovery/energy recovery ventilation providing continuously-operating, balanced, WHV. Supply may be connected to the central furnace return air.
<input type="checkbox"/>	Other approved method detailed on the construction documents. Reference page number _____.



TABLE N1101.1(1) PRESCRIPTIVE ENVELOPE REQUIREMENTS^a

BUILDING COMPONENT	STANDARD BASE CASE		LOG HOMES ONLY	
	Required Performance	Equivalent Value ^b	Required Performance	Equivalent Value ^b
Wall insulation—above grade	U-0.059c	R-21 Intermediate ^c	Note d	Note d
Wall insulation—below grade ^e	C-0.063	R-15 c.i. / R-21	C-0.063	R-15/R-21
Flat ceilings ^f	U-0.021	R-49	U-0.020	R-49 A ^h
Vaulted ceilings ^g	U-0.033	R-30 Rafter or R-30A ^g , ^h Scissor Truss	U-0.027	R-38A ^h
Underfloors	U-0.033	R-30	U-0.033	R-30
Slab-edge perimeter ^l	F-0.520	R-15	F-0.520	R-15
Heated slab interior ⁱ	N/A	R-10	N/A	R-10
Windows ^j	U-0.27	U-0.27	U-0.27	U-0.27
Skylights	U-0.50	U-0.50	U-0.50	U-0.50
Exterior doors ^k	U-0.20	U-0.20	U-0.54	U-0.54

For SI: 1 inch = 25.4 mm, 1 square foot = 0.0929 m², 1 degree = 0.0175 rad,
 N/A = Not Applicable.

- a. As allowed in Section N1104.1, thermal performance of a component may be adjusted, provided that overall heat loss does not exceed the total resulting from conformance to the required *U*-factor standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved *U*-factors contained in Table N1104.1(1).
- b. *R*-values used in this table are nominal for the insulation only in standard wood-framed construction and not for the entire assembly.
- c. Wall insulation requirements apply to all exterior wood-framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and Intermediate Framing (Section N1104.5.2) with insulated headers.
- d. The wall component shall be a minimum solid log or timber wall thickness of 3½ inches.
- e. Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such wall that extend more than 24 inches above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
- f. Insulation levels for ceilings that have limited attic/rafter depth such as dormers, bay windows or similar architectural features totaling not more than 150 square feet in area may be reduced to not less than R-21. Where reduced, the cavity shall be filled (except for required ventilation spaces). R-49 insulation installed to minimum 6-inch depth at top plate at exterior of structure to achieve *U*-factor.
- g. Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a *U*-factor not greater than U-0.026 (equivalent to R-38 rafter or scissor truss with R-38 advanced framing).
- h. A = Advanced frame construction. See Section N1104.6.
- i. Heated slab interior applies to concrete slab floors (both on and below grade) that incorporate a radiant heating system within the slab. Insulation shall be installed underneath the entire slab in addition to perimeter insulation.
- j. Glass doors shall comply with window performance requirements. Windows exempt from testing in accordance with Section N1104.4 shall comply with window performance requirements if constructed with aluminum with thermal break, wood, vinyl, reinforced vinyl aluminum-clad wood, or insulated fiberglass frames, and double-pane glazing with low-emissivity coatings of 0.10 or less. Buildings designed to incorporate passive solar elements may include glazing with a *U*-factor greater than 0.35 by using Table N1104.1(1) to demonstrate equivalence to building envelope requirements.
- k. A maximum of 28 square feet of exterior door area per dwelling unit can have a *U*-factor of 0.54 or less.
- l. Minimum 24-inch horizontal or vertical below grade. The minimum total distance of 24 inches may be a combination of the horizontal and vertical planes. If a horizontal plane is used on the exterior of the slab, it must be a minimum of 12 inches below finished grade.



City of Ashland Building Safety Division

51 Winburn Way • Ashland, OR 97520
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N1101.2.3 Change of occupancy or use.

Definition of “change of use” for purposes of Section N1101.2.3.1 is a change of use in an existing *residential building* and shall include any of the following: any unconditioned spaces such as an attached garage, basement, porch, *attic* or canopy that are to become *conditioned spaces*.

N1101.2.3.1 Change of use.

A building that changes use, without any changes to the components regulated in this chapter, is required to comply with Table N1101.2 to the greatest extent practical. Changes of use that are greater than 30 percent of the *existing building* heated floor area or more than 400 square feet (37 m²) in area, whichever is less, shall be required to comply with one measure from Table N1101.3.2.

N1101.2.3.2 Change of occupancy.

Alteration and repair of conditioned nonresidential buildings, such as a change of occupancy from a small church or school to a residential *dwelling*, shall use Table N1101.2 to the greatest extent practical and comply with one measure from Table N1101.1(2) or Table N1101.3.2.

Exception: The minimum component requirements shall be disregarded where thermal performance calculations are completed for change of use to a Group R-3 occupancy, and such calculations demonstrate similar performance to the requirements of Table N1101.2.

N1101.4 Information on plans and specifications.

Plans and specifications shall show in sufficient detail all pertinent data and features of the building and the equipment and systems as herein governed, including, but not limited to: exterior envelope component materials; *R*-values of insulating materials; *fenestration U*-factors; HVAC equipment efficiency performance and system controls; lighting; an additional measure from Table N1101.1(2); and the other pertinent data to indicate compliance with the requirements of the chapter.



BUILDING SAFETY DIVISION

51 Winburn Way
Ashland, OR 97520
(541) 488-5305
building@ashland.or.us

STATEMENT OF SPECIAL INSPECTION AGREEMENT

This agreement shall be submitted by permit applicants of projects requiring special inspection and/or testing per Chapter 17 of the State of Oregon Structural Specialty Code (OSSC).

PROJECT NAME: _____

PROJECT ADDRESS: _____

BUILDING PERMIT NUMBER: _____ Date Issued: _____

SPECIAL INSPECTOR _____ Inspection Type _____

SPECIAL INSPECTOR _____ Inspection Type _____

SPECIAL INSPECTOR _____ Inspection Type _____

BEFORE A PERMIT CAN BE ISSUED: The registered design professional in responsible charge, or qualified person approved by the building official for construction not designed by a registered design professional, shall complete: this agreement, including the Statement of Special Inspections, and a Statement of Special Inspection Schedule. A pre-construction conference with the parties involved may be required to review the special inspection requirements and procedures.

APPROVAL OF SPECIAL INSPECTORS: Special inspectors shall have no financial interest in projects for which they provide special inspection. Each special inspector shall submit their qualifications to the building official. The building official shall approve each special inspector prior to permit issuance and prior to performing any duties. Special inspectors shall display identification, as stipulated by the building official, when performing the function of a special inspector.

Special inspection and testing shall meet the minimum requirements of OSSC Chapter 17. The following conditions are also applicable:

A. Duties and responsibilities of the Special Inspector

1. Observe work

The special inspector shall observe the work for conformance with the building department approved (stamped) design drawings and specifications and applicable workmanship provisions of the OSSC. Architect/engineer reviewed shop drawings and/or placing drawings may be used only as an aid to inspection. Special inspections are to be periodic or continuous as identified in the Statement of Special Inspections.

2. Reporting (1704.2.4)

The special inspector shall keep records of inspections and shall bring non-conforming items to the immediate attention of the contractor and note all such items in the daily report. If any item is not resolved in a timely manner or is about to be incorporated in

the work, the special inspector shall immediately notify the building department by telephone or in person, notify the engineer or architect, and post a discrepancy notice.

3. Furnish daily reports

On request, each special inspector shall complete and sign both the special inspection record and the daily report for each day's inspection to remain at the job-site with the contractor for review by the building department's inspector.

4. Furnish weekly reports

The special inspector or inspection agency shall furnish weekly reports of tests and inspections directly to the building department, architect and engineer of record, and others as designated. These reports must include the following:

- a. Description of daily inspections and tests made with applicable locations;
- b. Listing of all non-conforming items;
- c. Report on how non-conforming items were resolved or unresolved as applicable; and
- d. Itemized changes authorized by the architect, engineer and building department if not included in non-conforming items.

5. Furnish Final Report

The special inspector or inspection agency shall submit a final report to the building department stating that all items requiring special inspection and testing were fulfilled and reported and, to the best of his/her knowledge, in conformance with the approved design drawings, specifications, approved change orders and the applicable workmanship provisions of the OSSC. Items not in conformance, unresolved items or any discrepancies in inspection coverage (i.e., missed inspections, periodic inspections when continuous was required, etc.) shall be specifically itemized in this report.

B. Contractor's Responsibilities

1. Notify the special inspector

The contractor is responsible for notifying the special inspector or agency regarding individual inspections as identified in the statement of special inspection. Adequate notice shall be provided so that the special inspector has time to become familiar with the project.

2. Provide access to work and approved plans (1704.2.2)

The contractor is responsible for providing the special inspector access to approved plans at the job-site.

3. Retain special inspection records

The contractor is also responsible for retaining at the job-site all special inspection records submitted by the special inspector, and providing these records for review by the building department's inspector upon request.

4. Statement of Responsibility for Construction of Force-Resisting System (1704.5)

Construction of a wind- or seismic-resisting component listed in the statement of special inspections requires submittal of a written statement of responsibility by the Contractor.

5. Records

The contractor is also responsible for retaining at the job-site all special inspection records submitted by the special inspector, and providing these records for review by the building department's inspector upon request.

C. Building Department Responsibilities

1. Approve special inspection

The building department shall approve all special inspection and special inspection requirements.

2. Monitor special inspection

Work requiring special inspection and the performance of special inspectors shall be monitored by the building department's inspector. His/her approval must be obtained prior to placement of concrete or other similar activities in addition to that of the special inspector.

3. Issue Certificate of Occupancy

The building department may issue a Certificate of Occupancy after all special inspection reports and the final report have been submitted and accepted.

D. Owner Responsibilities (or Owners Agent)

The owner or the Registered Design Professional in Responsible Charge acting as the owner's agent shall:

1. Obtain and fund special inspection services by contract with an *agency* approved by the Building Official.
2. Submit the signed Special Inspection and Testing Agreement to the building official prior to permit issuance.
3. Submit the Statement of Special Inspection to the building official prior to permit issuance.
4. Obtain and fund structural observation by engineer of record if required by Chapter 17 of the OSSC.

E. Engineer or Architect of Record Responsibilities (design may be by a qualified person approved by the building official for construction not designed by a registered design professional):

1. Provide a Statement of Special Inspection per 1704.3.
2. The engineer or architect of record shall include special inspection requirements on the plans and specifications.

ACKNOWLEDGEMENTS

I have read and agree to comply with the terms and conditions of this agreement.

Owner: _____ By _____ Date _____

Contractor: _____ By _____ Date _____

Special

Inspection Agency: _____ By _____ Date _____

Project Engineer/

Architect: _____ By _____ Date _____

RECEIVED FOR THE CITY OF ASHLAND BUILDING SAFETY DIVISION

By _____ Date _____

SUMMARY OF SPECIAL INSPECTION, TESTING, CONTRACTOR STATEMENT OF RESPONSIBILITY, AND STRUCTURAL OBSERVATION

(Per the 2014 Oregon Structural Specialty Code)

NOTE: Fillout and attach Schedule of Inspection Form

General:

- Contractor's Statement of Responsibility for Seismic Resistance** – 1704.2.5 & 1704.2.5.1
Construction of a Main Wind or Seismic Force- Resisting System component listed in statement of Special Inspection requires Contractors Statement of Responsibility.
- Structural Observation for Seismic Resistance** – 1704.5.2

Special Inspections:

- Shop Fabrication of Load Bearing Members** – 1704.2.5 & 1704.2.5.1
- Steel Construction** – 1705.2
- Concrete Construction** – 1705.3
- Masonry Construction** – 1705.4
- Wood Construction** – 1705.5
- Soils** – 1705.6
- Deep Driven Foundation** – 1705.7
- Cast-in-Place Deep Foundation** – 1705.8
- Special Inspection for Seismic Resistance** – 1705.11
 - Structural Steel** – 1705.11.1
 - Structural Wood** – 1705.11.2
 - Cold-formed Steel Light-frame Construction** – 1705.11.3
 - Designated** – 1705.11.4
 - Architectural Components** – 1705.11.5
 - Access Floors** – 1705.11.6
 - Mechanical and Electrical Components** – 1705.11.1
 - Storage Racks** – 1705.11.7
 - Isolation Systems** – 1705.11.8
- Structural Testing for Seismic Resistance** – 1705.12
- Spray Fire-Resistant Materials** – 1705.13

Miscellaneous Special Inspections:

- Mastic and Intumescent Fire-Resistant Coatings** – 1705.14
- Exterior Insulation and Finish Systems (EIFS)** – 1705.15
- Fire-resistant Penetrations and Joints** – 1705.16
- Special Inspection for Smoke Control** – 1705.17
- Random Mitigation Inspections** – 1705.18

APPENDIX J GRADING

Appendix J is not adopted by the State of Oregon, Building Codes Division, as part of the *state building code*, consistent with the purpose and scope of application authorized in ORS 455.020.

Local *municipalities* are permitted to enact local ordinances for the grading.

SECTION J101 GENERAL

J101.1 Scope.

The provisions of this chapter apply to grading, excavation and earthwork construction, including fills and embankments. Where conflicts occur between the technical requirements of this chapter and the geotechnical report, the geotechnical report shall govern.

J101.2 Flood hazard areas.

Unless the applicant has submitted an engineering analysis, prepared in accordance with standard engineering practice by a *registered design professional*, that demonstrates the proposed work will not result in any increase in the level of the base flood, grading, excavation and earthwork construction, including fills and embankments, shall not be permitted in *floodways* that are in *flood hazard areas* established in Section 1612.3 or in *flood hazard areas* where design flood elevations are specified but *floodways* have not been designated.

SECTION J102 DEFINITIONS



DEFINITIONS

J102.1 Definitions.

The following words and terms shall, for the purposes of this appendix, have the meanings shown herein. Refer to Chapter 2 of this code for general definitions.

BENCH. A relatively level step excavated into earth material on which fill is to be placed.

COMPACTION. The densification of a fill by mechanical means.

CUT. See "Excavation."

DOWN DRAIN. A device for collecting water from a swale or ditch located on or above a slope, and safely delivering it to an approved drainage facility.

EROSION. The wearing away of the ground surface as a result of the movement of wind, water or ice.

EXCAVATION. The removal of earth material by artificial means, also referred to as a cut.



FILL. Deposition of earth materials by artificial means.

GRADE. The vertical location of the ground surface.

GRADE, EXISTING. The grade prior to grading.

GRADE, FINISHED. The grade of the site at the conclusion of all grading efforts.

GRADING. An excavation or fill or combination thereof.

KEY. A compacted fill placed in a trench excavated in earth material beneath the toe of a slope.

SLOPE. An inclined surface, the inclination of which is expressed as a ratio of horizontal distance to vertical distance.

TERRACE. A relatively level step constructed in the face of a graded slope for drainage and maintenance purposes.



SECTION J103

PERMITS REQUIRED

J103.1 Permits required.

Except as exempted in Section J103.2, grading shall not be performed without first having obtained a *permit* therefor from the *building official*. A grading *permit* does not include the construction of retaining walls or other structures.

J103.2 Exemptions.

A grading *permit* shall not be required for the following:

1. Grading in an isolated, self-contained area, provided that the public is not endangered and that such grading will not adversely affect adjoining properties.
2. Excavation for construction of a structure permitted under this code.
3. Cemetery graves.
4. Refuse disposal sites controlled by other regulations.
5. Excavations for wells, or trenches for utilities.
6. Mining, quarrying, excavating, processing or stockpiling rock, sand, gravel, aggregate or clay controlled by other regulations, provided that such operations do not affect the lateral support of, or significantly increase stresses in, soil on adjoining properties.
7. Exploratory excavations performed under the direction of a *registered design professional*.



Exemption from the *permit* requirements of this appendix shall not be deemed to grant authorization for any work to be done in any manner in violation of the provisions of this code or any other laws or ordinances of this jurisdiction.

SECTION J104

PERMIT APPLICATION AND SUBMITTALS

J104.1 Submittal requirements.

In addition to the provisions of Section 105.3, the applicant shall state the estimated quantities of excavation and fill.



J104.2 Site plan requirements.

In addition to the provisions of Section 107, a grading plan shall show the existing grade and finished grade in contour intervals of sufficient clarity to indicate the nature and extent of the work and show in detail that it complies with the requirements of this code. The plans shall show the existing grade on adjoining properties in sufficient detail to identify how grade changes will conform to the requirements of this code.

J104.3 Geotechnical report.

A geotechnical report prepared by a *registered design professional* shall be provided. The report shall contain not less than the following:

1. The nature and distribution of existing soils.
2. Conclusions and recommendations for grading procedures.
3. Soil design criteria for any structures or embankments required to accomplish the proposed grading.
4. Where necessary, slope stability studies, and recommendations and conclusions regarding site geology.

Exception: A geotechnical report is not required where the *building official* determines that the nature of

J105.2 Special inspections.

The *special inspection* requirements of Section 1705.6 shall apply to work performed under a grading permit where required by the *building official*.

SECTION J106 EXCAVATIONS

J106.1 Maximum slope.

The slope of cut surfaces shall be not steeper than is safe for the intended use, and shall be not more than one unit vertical in two units horizontal (50-percent slope) unless the owner or the owner's authorized agent furnishes a geotechnical report justifying a steeper slope.

Exceptions:

1. A cut surface shall be permitted to be at a slope of 1.5 units horizontal to one unit vertical (67-percent slope) provided that all of the following are met:
 - 1.1. It is not intended to support structures or surcharges.
 - 1.2. It is adequately protected against erosion.
 - 1.3. It is not more than 8 feet (2438 mm) in height.
 - 1.4. It is approved by the building code official.
 - 1.5. Ground water is not encountered.
2. A cut surface in bedrock shall be permitted to be at a slope of one unit horizontal to one unit vertical (100-percent slope).

SECTION J107 FILLS

J107.1 General.

Unless otherwise recommended in the geotechnical report, fills shall comply with the provisions of this section.

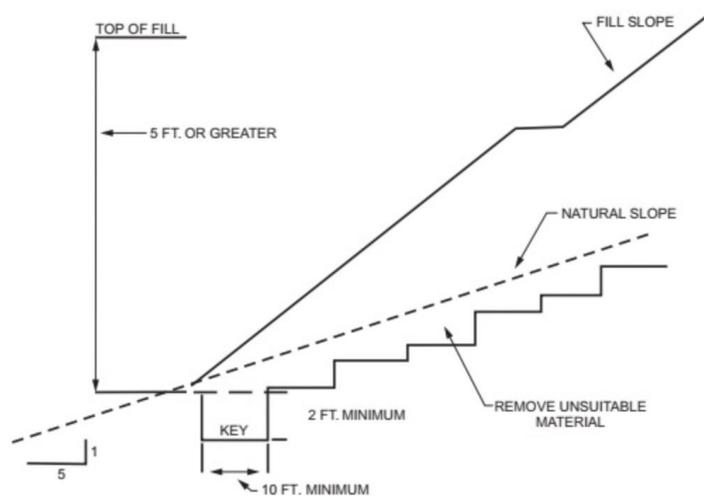
J107.2 Surface preparation.

The ground surface shall be prepared to receive fill by removing vegetation, topsoil and other unsuitable materials, and scarifying the ground to provide a bond with the fill material.

J107.3 Benching.

Where existing grade is at a slope steeper than one unit vertical in five units horizontal (20-percent slope) and the depth of the fill exceeds 5 feet (1524 mm) benching shall be provided in accordance with Figure J107.3. A key shall

be provided that is not less than 10 feet (3048 mm) in width and 2 feet (610 mm) in depth.



For SI: 1 foot = 304.8 mm.

FIGURE J107.3 BENCHING DETAILS

J107.4 Fill material.

Fill material shall not include organic, frozen or other deleterious materials. Rock or similar irreducible material greater than 12 inches (305 mm) in any dimension shall not be included in fills.

J107.5 Compaction.

All fill material shall be compacted to 90 percent of maximum density as determined by ASTM D1557, Modified Proctor, in lifts not exceeding 12 inches (305 mm) in depth.

J107.6 Maximum slope.

The slope of fill surfaces shall be not steeper than is safe for the intended use. Fill slopes steeper than one unit vertical in two units horizontal (50-percent slope) shall be justified by a geotechnical report or engineering data.

SECTION J108 SETBACKS

J108.1 General.

Cut and fill slopes shall be set back from the property lines in accordance with this section. Setback dimensions shall be measured perpendicular to the property line and shall be as shown in Figure J108.1, unless substantiating data is submitted justifying reduced setbacks.

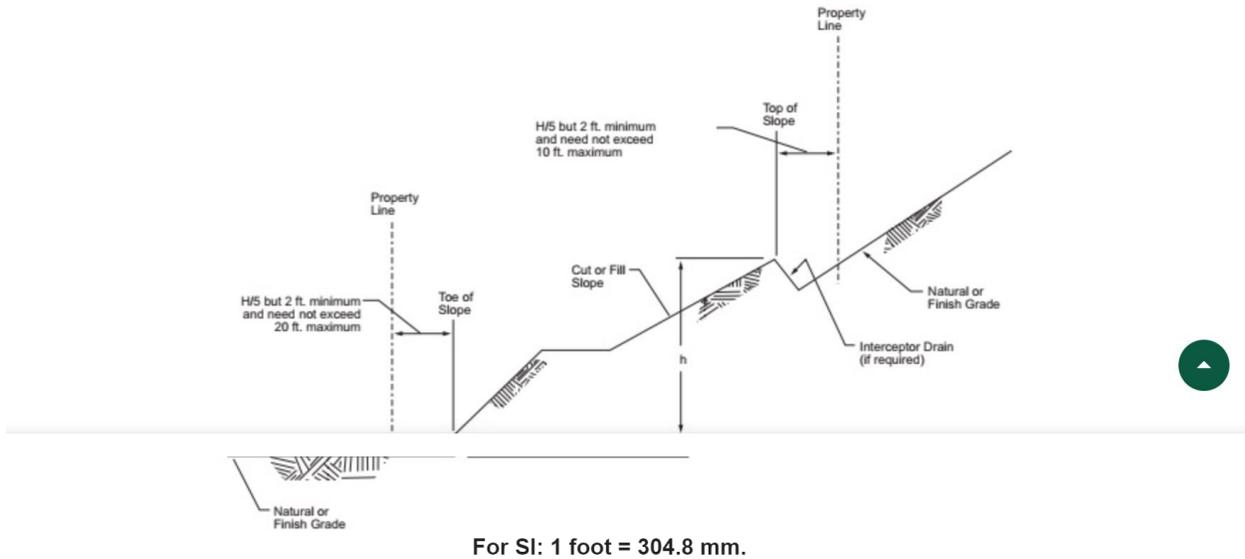


FIGURE J108.1 DRAINAGE DIMENSIONS

J108.2 Top of slope.

The setback at the top of a cut slope shall be not less than that shown in Figure J108.1, or than is required to accommodate any required interceptor drains, whichever is greater.

J108.3 Slope protection.

Where required to protect adjacent properties at the toe of a slope from adverse effects of the grading, additional protection, approved by the *building official*, shall be included. Examples of such protection include but are not be

limited to:

1. Setbacks greater than those required by Figure J108.1.
2. Provisions for retaining walls or similar construction.
3. Erosion protection of the fill slopes.
4. Provision for the control of surface waters.

SECTION J109 DRAINAGE AND TERRACING

J109.1 General.

Unless otherwise recommended by a *registered design professional*, drainage facilities and terracing shall be provided in accordance with the requirements of this section.

Exception: Drainage facilities and terracing need not be provided where the ground slope is not steeper than one unit vertical in three units horizontal (33-percent slope).

J109.2 Terraces.

Terraces not less than 6 feet (1829 mm) in width shall be established at not more than 30-foot (9144 mm) vertical intervals on all cut or fill slopes to control surface drainage and debris. Suitable access shall be provided to allow for cleaning and maintenance.

Where more than two terraces are required, one terrace, located at approximately mid-height, shall be not less than 12 feet (3658 mm) in width.

Swales or ditches shall be provided on terraces. They shall have a minimum gradient of one unit vertical in 20 units horizontal (5-percent slope) and shall be paved with concrete not less than 3 inches (76 mm) in thickness, or with other materials suitable to the application. They shall have a depth not less than 12 inches (305 mm) and a width not less than 5 feet (1524 mm).

A single run of swale or ditch shall not collect runoff from a tributary area exceeding 13,500 square feet (1256 m²) (projected) without discharging into a down drain.

J109.3 Interceptor drains.

Interceptor drains shall be installed along the top of cut slopes receiving drainage from a tributary width greater than 40 feet (12 192 mm), measured horizontally. They shall have a minimum depth of 1 foot (305 mm) and a minimum width of 3 feet (915 mm). The slope shall be approved by the *building official*, but shall be not less than one unit vertical in 50 units horizontal (2-percent slope). The drain shall be paved with concrete not less than 3 inches (76 mm) in thickness, or by other materials suitable to the application. Discharge from the drain shall be accomplished in a manner to prevent erosion and shall be approved by the *building official*.

J109.4 Drainage across property lines.

Drainage across property lines shall not exceed that which existed prior to grading. Excess or concentrated drainage shall be contained on site or directed to an approved drainage facility. Erosion of the ground in the area of discharge shall be prevented by installation of nonerosive down drains or other devices.

**SECTION J110
EROSION CONTROL**

J110.1 General.

The faces of cut and fill slopes shall be prepared and maintained to control erosion. This control shall be permitted to consist of effective planting.

Exception: Erosion control measures need not be provided on cut slopes not subject to erosion due to the erosion-resistant character of the materials.

Erosion control for the slopes shall be installed as soon as practicable and prior to calling for final inspection.



J110.2 Other devices.

Where necessary, check dams, cribbing, riprap or other devices or methods shall be employed to control erosion and provide safety.

**SECTION J111
REFERENCED STANDARDS**

ASTM D1557-12	Test Method for Laboratory Compaction Characteristics of Soil Using Modified Effort [56,000 ft-lb/ft ³ (2,700 kN-m/m ³)].	J107.5
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CITY OF ASHLAND



DIRECTIVE

BD-DIR-0001

PREPARATION FOR SEISMIC EVENT

Policy Summary:

Outlines steps to be taken to prepare for a seismic event.

Background:

Seismologists have concluded that a major magnitude seismic event could occur at any time in the Pacific Northwest. The City's Emergency Operation Plan outlines the general responsibilities of senior City staff for various disasters, including seismic events. This policy is intended to provide more specific guidance for Building/ Safety Division staff in the preparation for such an event.

Discussion:

It is assumed for the purposes of this policy that a major magnitude seismic event will damage the City Hall building to the extent that it will be inaccessible and/or unusable to carry out either normal or emergency response functions. Additionally, it is assumed that many Community Development staff members will be unavailable to report to work during the initial stages of response.

Policy:

In order to enhance our effectiveness in carrying out our assigned duties in the event of a major magnitude seismic event, the Community Development Department will implement the following directives:

1. Priority responsibilities of the Community Development Department will be to:
 - (a) Perform post earthquake assessment of structures as outlined in the Applied Technology Council ATC 20 procedures,
 - (b) Strive to provide the same services as prior to the seismic event, and
 - (c) Respond to requests from the Command Center as staffing allows.
2. Designated locations for Department staff to assemble and perform the functions outlined above (in order of availability) are as follows:
 - (a) Community Development – 51 Winburn Way
 - (b) City Hall – 20 E. Main St.
 - (c) Main Fire Station
3. When at City Hall, City vehicles shall be parked in locations previously identified as reasonably safe from damage caused by structures which could collapse in a seismic event.

4. A list of telephone numbers (including those for inspector cellular telephones) shall be maintained by the Department. Each staff member shall maintain this list at their residence or some other available location during non-working hours.
5. Cellular telephones assigned to the field inspectors will be taken home with the inspectors on evenings and weekends.
6. There will be at least three sets of keys for each City vehicle assigned to the Department. The sets of keys will be distributed as follows:
 - (a) At City Hall in the inspector work area
 - (b) With (or readily available to) each inspector during non-working hours
 - (c) At the City shops
7. Appropriate staff will receive training in the ATC 20 procedures. Steps will be taken to insure that this training remains current.
8. Appropriate steps will be taken to insure that all data in Eden is protected from earthquake damage and that this data will be available as quickly as possible after the event takes place.
9. Post earthquake permit policies & standards will be developed and maintained.
10. Appropriate supplies for performing the above functions will be located in the trunks of Department vehicles. These supplies will be maintained in working order. The following lists examples of appropriate supplies:
 - (a) Hardhats
 - (b) ATC 20 manuals
 - (c) ATC 20 placards
 - (d) Flashlights
 - (e) Clipboards
 - (f) Tape measures
 - (g) Tools
 - (h) Code books
 - (i) Gloves (rubber and leather)
 - (j) Barricade tape
 - (k) Inspection forms
 - (l) Staplers/staples
 - (m) First aid kits (with CPR mouthpieces & rubber gloves)
 - (n) Permanent markers
 - (o) Tyvek coveralls
 - (p) Flares (6)
 - (q) Roll of duct tape
 - (r) Dust masks
 - (s) Orange safety vest
 - (t) H.D. breather masks with filters



Field Interpretation Guidelines

BD-FIG-0001

RESIDENTIAL INSPECTION PROTOCOL

Policy Summary:

Adopts guidelines for conducting inspections in residences when the owners are not present or when there are no adults present.

Background:

This office responds to hundreds of inspection requests each month, and occasionally we are requested to conduct inspections in residences when the owners/tenants are not present or when no adults are present. In order to assure consistency and to avoid potentially undesirable situations, this policy is provided for the inspection staff.

Discussion:

During the inspection process associated with new residential structures, there is an assumption that no one will be living in the structure until the final inspection approaches. As the time for the final inspection approaches, the potential for the structure to be occupied, increases. In the case of residential additions and remodels, there is an assumption that the residence is occupied throughout the construction process.

Section 104.6 of the Oregon Residential Specialty Code (ORSC) provides some general guidance as follows:

R104.6 Right of entry. *Where it is necessary to make an inspection to enforce the provisions of the code, or where the building official has reasonable cause to believe that there exists in a structure or upon a premises a condition which is contrary to or in violation of this code which makes the structure or premises unsafe, dangerous or hazardous, the building official or designee is authorized to enter the structure or premises at reasonable time to inspect or to perform the duties imposed by this code, provided that if such structure or premises be occupied that credentials be presented to the occupant and entry requested. If such structure or premises be unoccupied, the building official shall first make a reasonable effort to locate the owner or the other person having charge or control of the structure or premises and request entry. If entry is refused, the building official shall have recourse to the remedies provided by law to secure entry.*

In the above cases when the inspector either assumes or has definite knowledge that the residential structure is occupied, more specific guidelines as described below will be utilized.

Policy:

When an inspector is requested to conduct an inspection and either assumes or has definite knowledge that the involved residential structure is occupied, the following guidelines will be followed:

1. Unless the inspection is on public property (such as a sidewalk inspection), the inspector will notify the owners/tenants of his/her presence. If the owners/tenants express any reluctance in allowing the inspection to take place, the inspector will immediately leave the property.
2. If the owners/tenants are not present, an authorized adult representative must be present for any interior inspections to be accomplished, including those in new additions and existing garages. For the purposes of this policy, the inspector may assume that the general contractor or a subcontractor is an authorized representative.
3. If no one is present, the inspector will not conduct any interior inspections unless specific prior arrangements have been made which are acceptable to the inspector.
4. If minors are present (under 18 years of age), the inspector will not enter the building or conduct any interior inspections unless the owner or an authorized adult representative (18 years of age or older) is also present.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0001

FOOTING AND FOUNDATION WALL REBAR REQUIREMENTS FOR SINGLE FAMILY RESIDENCES

Policy Summary:

Clarifies rebar requirements for footings and foundation walls in single-family residential construction.

Background:

The following question related to the Oregon Residential Specialty Code (ORSC) requirements for footings/foundations have been raised by the plan review and inspection staff:

When utilizing Table R404.1.1, what are the rebar requirements when a 6" foundation wall is utilized as allowed for a foundation wall associated with unbalanced fill 4' or less in height?

Discussion:

ORSC Section 404.1.4 indicates that rebar is required in the upper 12 inches of the foundation wall.

Section R401.4 indicates that the Building Official may require a soil test in areas likely to have expansive, compressible, shifting, or other unknown soil characteristics. Ashland is known to have expansive soils in certain areas. Recent improvements in GIS mapping have provided staff with better tools which reflect Benton Soils Maps and depict specific soil types for specific areas. Because of this, staff are able to more accurately determine if soils testing is necessary for specific locations of proposed construction activity.

In areas that would typically require soils testing, and where no other special site conditions exist, our experience indicates that horizontal rebar should be required in cases where the foundation wall thickness is less than eight (8) inches or where the height of the unbalanced fill exceeds four (4) feet. Vertical rebar should be required in those cases where there is a horizontal "cold" joint. The vertical rebar should be placed four feet on center. If deemed an acceptable alternative by the Plans Examiner, compliance with these rebar placement standards would typically negate the need for a soil test.

Special consideration must also be taken for new subdivisions where expansive soils are identified. A soils report will be required for new subdivisions and the guidelines for foundation construction in the soils report, shall be followed.

Policy:

In areas that require a soils test, where no special site conditions are known to exist, the following standard may be utilized if deemed acceptable by the Plans Examiner in lieu of providing a soils test.

The minimum rebar requirements for a 6 inch thick concrete foundation wall (height of unbalanced fill 4 feet or less) and the associated footing are as follows if no soil test is submitted as required by Section 401.4:

Horizontal rebar - two #4 bars are required in all cases; if the footing is poured independent of the foundation wall or monolithically, the two bars will both be in the footing. In addition, one bar must be placed in the upper 12 inches of foundation wall.

Vertical rebar - #4 rebar is required in those cases where there will be a horizontal "cold" joint. The vertical rebar will be spaced 4 feet on center and must have a standard hook.

This policy does not apply to installations where a soils test is not required and the foundation is proposed to be constructed prescriptively to comply with minimum code requirements.

In the case of new subdivisions where expansive soils are identified, a soils report shall identify specific soils preparation, soils compaction, foundation construction methods, and wet weather construction guidelines. In addition, a subdivision plot plan shall be provided with the soils report that identifies each lot covered by the soils report along with lots containing areas of expansive soils. Each plan submittal for a foundation on a lot containing expansive soils shall provide copy of such soils report. A copy of the soils report will be scanned along with the site plan for each case.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0002

INSPECTION REQUIREMENTS FOR GAS PRESSURE TESTS

Policy Summary:

Outlines criteria for waiving gas piping pressure tests.

Background:

Section C102 of the Oregon Mechanical Specialty Code and Section G2417 of the Oregon Residential Specialty Code specify the requirements for conducting and approving gas piping pressure tests. These codes state that all piping must be in place and pressurized when the inspection is requested. This requirement has caused problems for installers in the case of changeouts of existing equipment since a required gas pressure test adds an additional step in the installation process which, unless well coordinated, causes an additional trip for the contractor and the inspector. Because of this problem we have historically waived the gas pressure test under the following conditions:

- The piping is not concealed; and,
- The installer conducts a "soap test" of all new joints; and,
- There is less than 6 feet of new or reconfigured piping; and,
- There are a maximum of 3 joints which have been affected by the changeout; and,
- The installer is a contractor registered with the Construction Contractors Board.

Discussion:

This past practice related to changeouts has worked well for both the installers and the inspectors. In the past few years the practice has also been utilized in new construction in cases where the new gas piping would interfere with the work of other subcontractors installing gypsum board, plumbing systems, and electrical wiring. As in the case of changeouts, the practice has worked well.

It should be noted that the term "soap test" as used in this policy refers to the use of a professional leak detecting solution which contains low chlorides. Chlorides have been specifically cited by manufacturers as causing corrosion on various metal pipes. Common kitchen detergents are generally high in chloride and not recommended for a "soap test."

Policy:

Pressure tests for gas piping may be waived by the Building Official when the criteria listed above are met.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0003

INSPECTION OF EXISTING BUILDINGS

Policy Summary:

Specifies instances when Community Development will inspect an existing building at the request of an applicant.

Background:

Community Development receives requests to inspect existing buildings for various purposes. In some cases the inspection will result in additional permits once the applicant has determined what issues must be addressed in order to occupy the structure. In other cases, insurance companies request that we confirm certain safety features of a building. Realtors and prospective buyers also request inspections.

Discussion:

The intent of this office is to provide inspections of existing buildings in cases where there is a change of occupancy or in other circumstances where it is appropriate for city inspectors to be involved. The private sector provides a similar service which is often more appropriate for an applicant.

In order to provide this service in an efficient manner, the applicant is responsible for providing plans for review prior to the inspection. A fee is also charged in conjunction with the issuance of the permit.

Policy:

Community Development will provide inspections for existing buildings when requested in the following cases:

- there is an application for a change of occupancy;
- prospective tenant is contemplating the occupancy of a structure which has been vacant for more than one year, or;
- when specifically approved by the Building Official.

In all cases, the applicant must provide two copies of a complete site plan and floor plan (for each floor) along with a completed permit application. The fee will be as provided in Chapter 15 of the Ashland Municipal Code. Additional permits may be required to implement the inspector's findings.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0004

ACCEPTANCE OF REVERSED PLANS

Policy Summary:

States that the policy of the Community Development Department is to not accept reversed construction plans for plan review.

Background:

There are occasions when an applicant submits plans to this office which accurately reflect proposed construction with the exception that the plan is reversed from the manner that the structure will actually be built in the field. There are also occasions when plans are submitted which have been reproduced in reverse (i.e. the words and notations are displayed backwards) in an attempt to accurately reflect the manner in which a structure will be constructed.

Discussion:

These "reversed" plans are difficult to review for either the plans examiner or the field inspector. In the first case cited above the field inspector must constantly remember that everything is reversed from that depicted on the plans. In the second case cited above, the plans examiner usually has great difficulty reading the notes and comments on the plans. In both cases the subcontractors can become confused when attempting to implement the provisions of the plans. In discussing the matter with local representatives of the Homebuilder's Association, it became apparent that they would not submit plans which were reversed nor would they expect the City to accept these types of plans. It was further noted that the cost associated with redrawing reversed plans to make them accurately depict the manner in which a structure will actually be built is minimal.

Policy:

The Bulding/Safety Division will not accept any type of reversed plans for plan review purposes.



Policies / Interpretations / Procedures

BD-PP-0005

PLAN REVIEW AND PERMIT FEES FOR FIRE SPRINKLER AND FIRE ALARM SYSTEMS

Policy Summary:

Specifies the appropriate plan review and permit fees for the review and inspection of fire sprinkler systems and fire alarm systems.

Background:

In an effort to achieve a greater level of consistency, the following information is provided.

Discussion:

Fire Sprinkler Systems

Section 109 of the Oregon Structural Specialty Code (OSCC), which discusses permit fees, states in part:

"The applicant for a permit shall provide an estimated permit value at the time of application. Permit valuations shall include the total value of work, including materials and labor, for which the permit is being issued, such as electrical, gas, mechanical, plumbing, equipment, and permanent systems. If, in the opinion of the building official, the valuation is underestimated on the application, the permit shall be denied, unless the applicant can show detailed estimates to meet the approval of the building official. Final building permit valuation shall be set by the building official."

This section states clearly that it is appropriate to include the value of permanent systems in the overall building valuation. The building valuation data table adopted by the City of Ashland specifies an appropriate valuation to assign to sprinkler systems. This value must be added to the structure's valuation.

If a structure is required to have a sprinkler system installed, it is so noted as part of the plan review. It is therefore inappropriate to subtract the sprinkler system valuation from the overall valuation of the structure even if the sprinkler plans are not included in the initial submittal.

The plan review and structural permit fees for the structure are calculated using the overall valuation (which includes the sprinkler system valuation), and therefore no additional plan review or permit fee should be assessed if the sprinkler plans are submitted as deferred submittals and approved at a later date (this does not include the assessment of a deferred submittal fee which is a processing fee).

Fire Alarm Systems

Standards for the installation of fire alarm systems are provided through the structural and electrical codes; consequently, both a building permit and an electrical permit (limited-energy electrical circuit) will be issued. The system will be inspected by an electrical inspector during installation, tested by the Building Inspector and observed by the Fire Marshal during final inspection. Permit fees for these systems are assessed through the building permit, electrical permit.

Policy:

1. Fire sprinkler and fire alarm system valuation shall be added to the valuation of the structure when calculating the plan review and permit fees. This must be accomplished in conjunction with initial plan submittal. If the sprinkler and/or alarm plans are submitted at a later date as deferred submittals, no plan review or permit fees should be assessed at that time. A deferred submittal fee may be collected if not collected previously at time of permit issuance.
2. If the installation of a fire sprinkler or fire alarm system is the only work proposed for an existing structure, plan review and permit fees shall be calculated on the basis of the valuation of the sprinkler or alarm system proposed. Unless waived, a building permit fee, plan review fee, fire and life safety plan review fee, and fire code review fee will be assessed.
3. Fire alarm systems are subject to an electrical permit fee (limited energy circuit) as well as a Structural Code permit fee issued through Community Development.



Policies / Interpretations / Procedures

BD-PP-0006

PRE-INSPECTIONS OF EXISTING CHIMNEYS AND VENTS

Policy Summary:

Requires that any existing chimney or vent previously utilized to burn solid or liquid fuel be cleaned and inspected by a chimney sweep or masonry contractor prior to the issuance of a permit for reuse with a new fuel-burning appliance.

Background:

The Oregon Mechanical Specialty Code (OMSC) and the Oregon Residential Specialty Code (ORSC) require appliances which are installed utilizing an existing chimney or vent to comply with the following:

The flue gas passageway shall be free of obstruction and combustible deposits and shall be cleaned if previously used for venting a solid or liquid fuel-burning appliance or fireplace. The flue liner, chimney inner wall or vent inner wall shall be continuous and shall be free of cracks, gaps, perforations or other damage or deterioration which would allow the escape of combustion products, including gases, moisture and creosote.

This requirement applies to all appliances installed into an existing chimney or vent which previously vented appliances using solid or liquid fuel. The requirement does not apply to new gas appliances which are proposed to vent into an existing (type B) gas vent.

Discussion:

The inspection of an existing chimney or vent requires equipment that is not readily available to staff. A professional chimney sweep or masonry contractor who is licensed by the State Construction Contractors Board (CCB) has the equipment and expertise to confirm the safety of an existing chimney or vent.

Policy:

1. Existing chimneys or vents previously utilized to burn solid or liquid fuel must be cleaned and inspected by a chimney sweep or masonry contractor prior to the issuance of a permit for reuse with a new fuel-burning appliance. The chimney sweep or masonry contractor must be registered with the CCB.
2. Prior to requesting the inspection of the new appliance, the chimney sweep or masonry contractor must submit written verification to this Division that the chimney or vent has been cleaned and is safe for reuse with the proposed appliance.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0007

PLAN REVIEW, PERMIT, AND FEE REQUIREMENTS FOR CITY PROJECTS

Policy Summary:

Clarifies plan review, permit, inspection, and fee requirements for construction projects related to City-owned structures and property.

Background:

There has been some confusion as to when permits and inspections are required for construction projects related to City-owned structures and property. There have also been questions regarding the various fees for these projects such as those for plan review, inspection services, and Systems Development Charges (SDC).

Discussion:

The specialty codes enforced by Building and Safety Division (structural, mechanical, plumbing, and electrical) are adopted by the State legislature for use throughout Oregon. Administration of these codes is delegated to local jurisdictions such as Ashland only after certain conditions are met. One of these conditions is that the codes be applied uniformly for all construction activity whether public or private. Compliance with this condition is monitored by the State Building Codes Division.

In general, all work on a plumbing system, an electrical system not controlled by a public utility, or non-portable mechanical equipment (furnaces, boilers, central heating or air conditioning units, etc.) requires a permit. Additionally, any work involving the structural support or internal configuration of a building requires a permit. This may include the installation of new doors, windows, stairs, or non-bearing partitions. The City's Land Development Code specifies that parking lots must meet certain standards and therefore must be permitted.

Inspections are required any time a permit is issued. It is normally the responsibility of the property owner to assure that all of the required inspections are requested on time. In the case of a City project, the responsibility should be delegated in writing to the contractor; that is, it should be listed as a condition of the contract.

Area contractors are very aware of the requirement for permits and inspections for construction work associated with public buildings. In the past we have received feedback from these

contractors that there seems to be a "double standard" for some City projects because no permits are obtained and no inspections are requested. We would like to dispel this perception.

There has also been a question as to whether fees should be charged for the required permits and inspections for City projects. Because the Building and Safety Division has been directed to be self-supported through the fees collected, fee schedules have been set with the assumption that the cost of each plan review and inspection will be recovered through fees. It is also recognized, however, that inter-departmental services are provided through the Facilities Master Permit process.

In addition to cost recovery, fees are assessed in the latter case for several additional reasons. First, in virtually all cases, the bids received for work on City projects include the cost of the permit. Second, those few contractors who do not include the permit fee in their bid will submit a bid which is unfairly lower than those of the other competitors. Third, an inappropriate message is sent to contractors if they are told that the City does not have to pay the required permit fees.

Systems Development Charges specifically covered in the Ashland Municipal Code. Staff does not have the ability to waive these charges; any waiver of or changes in SDC must be made by the City Council.

Policy:

1. Permit and inspection requirements for city-owned structures and property are identical to the requirements for non-city-owned structures and property.
2. Systems Development Charges are assessed as per the requirements of the Ashland Municipal Code. Any waiver or reduction of these charges must be made by the City Council.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0008

DISCHARGE FROM HOT TUBS, SPAS, AND SWIMMING POOLS

Policy Summary:

Specifies the approved method for disposal of waste water from hot tubs, spas, and swimming pools.

Background:

There have been questions regarding the most appropriate method for disposal of the discharge from hot tubs, spas, and swimming pools. Under provisions of the Oregon Plumbing Specialty Code, the Building Official is charged with the responsibility of determining the routing of the discharge of plumbing fixtures. Although some hot tubs do not technically qualify as plumbing fixtures, the code implies that the Building Official should also be responsible for regulating this discharge.

Discussion:

Section 813.0 of the Oregon Plumbing Specialty Code (OPSC) states that piping carrying swimming pool waste water must be discharged through an indirect waste. There is no further clarification for swimming pools, spas or hot tubs. Recent input from the City's environmental staff and the Oregon Department of Environmental Quality (DEQ) indicates the following:

- DEQ has adopted management practices for the disposal of chlorinated water from swimming pools and hot tubs which state that the best option is to discharge to the sanitary sewer
- DEQ's position is that chlorinated water should not be discharged into the storm water system or a stream. Backflush water from pool filters must be discharged to the sanitary sewer. The water from the pool, hot tub or spa should not show any detectable levels of chlorine because chlorine is harmful to fish and other aquatic life even at low concentrations. Also, the discharge of water from hot tubs and spas could cause thermal pollution of the receiving stream.

Policy:

Chlorinated water from swimming pools, spas and hot tubs shall be discharged to the sanitary sewer. If the building official determines that discharge to the sanitary sewer is not possible, other alternatives may be approved by the building official in accordance with DEQ's current management practices (see *Disposal of Chlorinated Water from Swimming Pools and Hot Tubs* at the DEQ website www.deq.state.or.us).

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0009

FIRE AND LIFE SAFETY PLAN REVIEW

Policy Summary:

Outlines the respective roles of the Community Development Department and the Fire Department in the Fire and Life Safety Plan Review (FLSPR) process.

Background:

The Community Development Department was created to facilitate development by consolidating all of the primary development review functions into one department and physical space. Customers may bring all development-related questions to Community Development Department, submit plans, and obtain all necessary permits at this one location. Community Development Department staff have the responsibility to involve as appropriate all other departments in this process. Procedures have been established for the involvement of Public Works, Parks and Recreation, Planning, and Engineering. As a substantial portion of the process speaks to fire protection considerations, it is essential that the Fire Department play a prominent role in this process.

The Community Development Department will strive to work with all appropriate departments in all development review processes. The local Building Official has the responsibility under ORS 479.155 to review plans, specifications, and related building construction documents for compliance with the fire and life safety sections of the State of Oregon Structural Specialty Code (Building Code). The FLSPR approval is the statutory responsibility of the Building Official. However, the Fire Chief, or his/her designee, assumes responsibility for the fire and life safety of a building upon issuance by the Building Official of the Certificate of Occupancy. Therefore, active involvement of the Fire Department is vital to the fulfillment of the fire and life safety responsibility.

Historically, the FLSPR process has been a cooperative effort between Community Development Department staff and the Fire Department. In general, the Community Development Department Plans Examiner reviewed fire and life safety issues related to the determination of occupancy group and required type of construction and specific requirements related to exterior firewall protection, allowable floor areas and building

heights, roof coverings, and electrical and HVAC systems. The Fire Marshal generally reviewed fire department access.

Discussion:

The primary goal of both the Fire Department and the Community Development Department with respect to the FLSPR process is to insure that the service is provided to our customers in an accurate, timely, cost-effective, and professional manner. The "one-stop" concept offered through Community Development Department will continue, and the responsibility of the Building Official to accept and process FLSPR applications will also continue. Because a substantial portion of these services relate to fire protection, it is essential that the Fire Department be provided the opportunity by Community Development Department and respond to FLSPR issues within the associated time periods.

Policy:

1. The Building Official has the authority and responsibility for the FLSPR process.
2. Fire Department input is considered essential, since the Fire Chief (or designee) assumes regulatory responsibility for the fire and life safety of a building as soon as the Certificate of Occupancy is signed.
3. Procedures will be adopted to ensure adequate opportunity is provided by Community Development Department and that responsive comments are conducted within specified timelines by the Fire Marshal.
4. All FLSPRs will be done in accordance with applicable laws, codes, and standards as adopted by City ordinances.

CITY OF ASHLAND



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BD-PP-0010

ASSESSMENT OF REINSPECTION FEES

Policy Summary:

Outlines those situations in which a reinspection fee may be assessed.

Background:

The various specialty codes establish the authority to assess a reinspection fee in certain circumstances. ORS 455.058

455.058 Investigation fee for work commenced without permit; rules.

1. Except as provided in subsection (2) of this section, the Department of Consumer and Business Services, or a municipality administering and enforcing a building inspection program, may assess an investigation fee against a person that is required to obtain a permit for work on the electrical, gas, mechanical, elevator, boiler, plumbing or other systems of a building or structure if the work is commenced before the permit required for the work is obtained. The amount of the investigation fee shall be the average or actual additional cost of ensuring that a building, structure, or system is in conformance with state building code requirements that results from the person not obtaining a required permit before work for which the permit is required commences.

It is our desire to utilize the authority granted by these codes in a fair and consistent manner. This policy will provide the necessary guidelines for field inspectors who encounter circumstances in which it may be appropriate to assess a reinspection fee.

Discussion:

The permit fees paid at the time of permit issuance are set to recover the costs associated with the inspection of the particular project. It is recognized that, on any individual permit, the costs may be somewhat higher or lower than the revenue generated by the permit. The objective is to recover the total program costs over the course of the fiscal year. It is assumed that each type of permit has a certain number of inspections associated with it, each of which will take a certain amount of time. When the number or length of inspections increases, the associated costs are considered unanticipated. If the reason for the increase in number or length of inspection is valid, the program is geared to provide a limited "subsidy"; however, if the number or length of inspections increases because of non-valid reasons, there is an assumption that the program should not subsidize these instances. Non-valid reasons, for purposes of this policy, must be determined by the field inspector; however, the circumstances outlined as follows will provide a guideline:

- Arriving at a jobsite as requested and finding that the work is not ready for inspection for a second time.

- Arriving at a jobsite as requested and finding that the items previously written up as required corrections have not been addressed.
- Finding no plans on the jobsite for the second time in those instances where the plans are needed to conduct the inspection and had previously been identified in writing as a required correction.
- Arriving at a jobsite as requested and finding that there is no ladder or other means of access to the roof for a second time.
- Arriving at a jobsite at the time requested for a final inspection and finding that the structure is locked for a second time.

It should be emphasized that the primary purpose of assessing reinspection fees is not to generate revenue; rather, it is intended to create a deterrent for individuals who repeatedly abuse the inspection request system.

Policy:

Reinspection fees may be assessed by field inspection personnel when, in their professional judgment, circumstances such as those outlined above warrant such action. Assessment of these fees will be with the approval of the Building Official. Tracking and collection of these fees will be as per PRO 3009.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0011

TIMED INSPECTIONS

Policy Summary:

Defines division policy related to the acceptance and scheduling of timed inspection requests.

Background:

The Community Development Department offers inspection services provided that the inspection request is received prior to 12 noon the previous day. There have been questions related to the policy of this Division with respect to the acceptance and scheduling of inspections requested for a specific hour (i.e. "timed inspections").

Discussion:

Inspections requested often contain a request for an inspector to be on the site at a specific hour of the day. While the Community Development Department makes every effort to facilitate construction and meet customer service requests, it becomes inefficient and costly to create inspection schedules based solely on requests by contractors for a specific inspection time. Priorities are given to some inspection requests; however, because of competing demands, not all requests for timed inspections can be met.

Policy:

The Community Development Department policy on timed inspection requests is as follows:

1. In order to allow the most efficient inspection routes to be planned, timed inspections are not scheduled except in the following cases:

- Inspection requests from homeowners who have other competing commitments;
- Inspection requests from contractors who must provide access to a building for inspection purposes;

- Inspection requests from an individual who is requesting a meeting with the inspector to discuss issues;
- Inspections involving the scheduling of concrete, concrete pumps, or other services requiring advance notice;
- Other requests specifically approved by the inspector involved.

In all of the above cases, the time of the inspection must be confirmed with the inspector who is assigned the request. If the requested time is not acceptable, the inspector will make every attempt to contact the requester and reschedule the time prior to the time originally requested. If the requested time is acceptable and the requester asked for confirmation, the inspector will insure that the time is confirmed with the requester.

2. All other inspection requests for AM or PM should be made in the specified time frame if possible. The inspector will make every reasonable attempt to notify the requester if the preferred AM or PM time cannot be met.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0012

DEFINITION OF UNFINISHED AND SEMI-FINISHED BASEMENTS OR OTHER AREAS

Policy Summary:

For purposes of conducting a code review and determining project valuation, this policy defines the terms "unfinished" and "semi-finished" when referring to basements or other areas.

Background:

The adopted valuation chart assigns differing cost per square foot values for finished and unfinished basements or other areas. In addition, some projects elect to not complete the "finish" leaving certain areas in a semi-finished condition as defined below. The code does not define the terms "unfinished" and "semi-finished."

Discussion:

In order to assure consistency and clarify this issue for the public, this policy provides definitions for the terms "unfinished" and "semi-finished."

Policy:

When assessing code compliance or assigning value from the adopted valuation chart to "unfinished" or "semi-finished" basements or other areas, the following definitions will be utilized:

- "Unfinished" basement or other areas - an unheated portion or area not intended as a habitable space and limited to storage, housing of mechanical equipment, general work area or similar uses. If there is plumbing in the area, it will be limited to floor drains, water and drain lines serving mechanical equipment, or similar purposes. There will be no other framing for interior walls other than as required for structural support. The area will not be insulated other than the ceiling/floor separation. The ceiling height may be as low as 6 feet 8 inches except for under beams, girders, ducts or other obstructions where the clear height may be not less than 6 feet 4 inches.

- "Semi-finished" basement or other areas - intended for future use as a habitable space and/or similar use. May not be dry-walled or heated. Has a clear ceiling height of not less than 7 feet. Walls or partitions may be rough framed, have rough-in plumbing and electrical. All plumbing for future fixtures is protected from freezing, capped and no fixtures are set. Exterior walls may be insulated. Since the space is not heated, the floor ceiling separation is insulated to not less than R-25.

Semi-finished areas will be assessed a valuation as "unfinished". Systems development charges will not be assessed at semi-finished or unfinished stages.

- Heated spaces will be considered as "finished" and constructed to comply with the applicable codes.

- Note: The assigned inspector will verify the unfinished, semi-finished, or finished condition of the basement at final inspection. Basements found to be at a phase that is greater than originally stated in plans shall be directed to resubmit plans and pay additional fees if necessary.

- Note: Projects that proceed to finish semi-finished or unfinished areas after final inspection approval shall be considered as work conducted without a permit. The owner will be required to obtain a new permit for the finished work and will be assessed appropriate investigation fees.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0013

INSPECTION OF PROPERTY PINS

Policy Summary:

1. Assigns responsibility to the building inspector to take appropriate steps to insure that the approved setback requirements to property lines are met.
2. Specifies that the permit applicant is responsible for exposing the property pins and establishing string lines for the building inspector on those construction projects where the inspector must verify compliance with required minimum distances to property lines.

Background:

The City Land Development Code (LDC) and Building Code provide minimum setback requirements for buildings on lots/parcels. These setbacks are critical elements for fire safety, access for public utilities, as well as neighborhood livability. It is important that these setbacks are checked during the appropriate phase of construction.

Discussion:

The building inspector is assigned the responsibility to take appropriate steps to insure that the approved setback requirements to property lines are met.

The City Building Code, which includes the Oregon Residential Specialty Code and the Oregon Structural Specialty Code, states as follows:

A survey of the lot may be required by the building official to verify that the structure is located in accordance with the approved plans.

This requirement is generally waived by the building inspector when the appropriate property pins are exposed and string lines established. The inspector may allow other mechanisms to be utilized by the applicant to make the inspection as accurate as possible.

Policy:

1. The building inspector has the responsibility to take appropriate steps to insure that the approved setback requirements to property lines are met.
2. The permit holder is responsible, when deemed appropriate by the building inspector, for exposing property pins and establishing string lines (or providing other reasonable mechanisms) for the building inspector to verify compliance with required minimum distances to property lines.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0014

PLAN SUBMITTAL FOR NEW SINGLE-FAMILY RESIDENCES

Policy Summary:

Requires the applicant to submit three sets of plans in conjunction with a permit application for new single-family residences.

Background:

The County Assessor has requested that a set of building plans for any new single-family residence be forwarded to their office as soon as possible after submittal to Community Development in conjunction with our permit application process. The Assessor believes that early access to these construction plans will facilitate the process of determining an appropriate valuation for the affected properties.

The Oregon Residential Specialty Code (ORSC) Section R106.1 states:

***R106.1 Submittal documents.** Submittal documents consisting of construction documents, and other data shall be submitted in two or more sets with each permit application. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the building official is authorized to require additional construction documents to be prepared by a registered design professional.*

Two sets are needed for an effective review by the Community Development Department and to insure that both the applicant and the Department have a set when the permit is issued. The third set would be solely for use by the County Assessor.

Discussion:

Upon receipt of the three sets of plans from the applicant, the set intended for the County Assessor will be placed in an agreed upon location in Community Development Department. It is expected that a representative of the County Assessor will pick up these plans at least on a monthly basis. The Assessor agrees that these plans may not be given out to the public and will be destroyed when no longer needed by the Assessor's staff.

If an applicant submits only two sets of plans, Development Services will proceed with the plan review process.

If an applicant prefers to submit a third set of plans which contains the minimum information needed by the Assessor (site plan, floor plans, elevations), the applicant will clearly mark the set of plans intended for the Assessor.

Policy:

Applicants are required to submit three sets of plans in conjunction with a building permit application for any new single-family residences.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0015

THUMB-TURN DEADBOLT LOCKS

Policy Summary:

States that the Division will not approve the installation of “stand alone” thumb-turn deadbolt locks on any exit door in a building regulated by the Oregon Structural Specialty Code (OSSC).

Background:

Staff is often asked about the acceptability of thumb-turn deadbolt locks on exit doors. Currently-existing thumb-turn deadbolt locks also come into question during the plan review and inspection of buildings being renovated.

Discussion:

Staff is often requested to approve proposals for the use of thumb-turn deadbolt locks on secondary exits or on main exits that comply with OSSC Section 1003.3.1.8 Exception 1, which allows the main entry to be key-locked during times other than business hours. Although the code clearly prohibits the use of manually operated edge- or surface-mounted flush bolts and surface bolts or other similar type of device used to close or restrain the door, the question has traditionally been associated with the language in the charging statement of the referenced code section that states:

Regardless of the occupant load served, exit doors shall be openable from the inside without the use of a key or any special knowledge or effort. (emphasis added)

It is important to note that the intent of this code section is particularly focused on the concept of ensuring that the hardware installed be of a type that is familiar to most users and readily operated under any condition of visibility, including darkness, and under conditions of fire or any other emergency. In addition, the hardware must be readily operable, providing the assurance that the building occupant can grip the operating device and operate it. Many thumb-turn locks are, by their nature, difficult to operate and nearly impossible for many disabled persons.

Policy:

Thumb-turn deadbolt locks may not be installed on egress doors of commercial buildings unless the thumb-turn deadbolt functions with a single action of the door hardware and is an integral part of the door hardware lever assembly.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0016

SMOKE ALARM REQUIREMENTS IN RESIDENCES

Policy Summary:

Provides clarification of when smoke alarms are required in dwelling units.

Background:

The Oregon Residential Specialty Code (ORSC) and Section 907.2.11.1 and 907.2.11.2 of the Oregon Structural Specialty Code (OSSC) specify the required locations of smoke alarms in new dwelling units. Section R314.3.1 specifically addresses smoke alarm requirements relative to alterations, repairs and additions. These codes assume that there is a clear understanding of which rooms are proposed to be used as sleeping areas. However, our experience is that there are rooms proposed on plans that are labeled as “dens”, “bonus rooms”, etc. that may be used as sleeping areas immediately upon occupancy or in the future.

Discussion:

It is our intent to educate the applicant as to the smoke alarm requirements. Applicants will be requested to identify the intended use of each room so that plans examiners and inspectors have a clear understanding of which rooms are proposed to be sleeping areas. Staff’s intent is to require smoke alarms in identified sleeping areas as outlined in the applicable codes and also to alert applicants of the advantages of voluntarily installing smoke alarms in rooms not designated as sleeping areas but which may be used as such in the future.

ORS 479.260 requires that smoke alarms be installed in accordance with the current applicable building code upon transfer of title. Consequently it becomes the responsibility of the seller to insure that smoke alarm requirements are met at that time.

Policy:

For new residential structures, smoke alarm requirements will be applied as follows:

- Plans examiners will insure that the proposed use of rooms is clearly marked on the plans; staff will accept the room designations as shown by the applicant while

recognizing the possibility that a room labeled as a “den”, “bonus room”, etc. may be used for sleeping purposes in the future.

- When judged appropriate, plans examiners will include a condition in the plan review approval which explains the benefits of voluntarily installing a smoke alarm in dens, bonus rooms, etc. The condition would clearly state that it is not a requirement.
- Inspectors will rely on the approved plans when determining which rooms are designated as sleeping areas. Inspectors may also recommend the voluntary installation of smoke alarms in dens, bonus rooms, etc., but smoke alarms will not be required in rooms not designated as bedrooms or sleeping areas. For additions or remodels to residential structures, smoke alarm requirements, as specified in Section 313.2.1, will be applied as outlined above for new residences. Smoke alarms will not be required in rooms not designated or used as bedrooms or sleeping areas. Inspectors may impose additional smoke alarm requirements during the inspection process if an existing room is clearly being used as a sleeping area and was not so identified on the plans.

CITY OF ASHLAND



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BD-PP-0017

MASTER PLAN REVIEW APPLICATIONS

Policy Summary:

1. Describes the “Master Plan Review” program.
2. Specifies plan review fees for “Master Plan Review” plans.

Background:

Oregon Revised Statute 455.685 allows individuals to obtain one plan review that can be used statewide for identical buildings. Plans may be submitted to the state for review and approval as a statewide master plan.

Discussion:

Once the plan is approved by the State of Oregon Building Codes Division (BCD), the permit applicant may submit copies of the master plan to Community Development Department to obtain a permit for construction. Because the master-plan approval verifies compliance only with the state building code, it is important that the plans be reviewed for compliance with Land Development Code criteria prior to issuing a permit. ORS 455.685 allows the building official to assess fees as necessary to recover reasonable costs incurred during the local review process.

Policy:

1. A Master Plan utilized during the permit application process shall be accompanied by a certified statement from the BCD bearing witness to the adequacy of the plans and compliance with the state building code.
2. The Permit Specialist shall create a case through Eden and route the plans to either the residential or commercial plans examiner dependent upon the type of project. The plans examiner will coordinate the review for compliance with local codes and ordinance.
3. The master plan must be reviewed and approved under the current State Building Code in effect at the time that application is made to the City.
4. The administrative fee for processing the “master-plan” application is hereby established as \$100.00. No plumbing or mechanical plan review fees will be charged.

5. Land Development Code fees will be assessed based on the value of the project as determined by the cost-per-square-foot formula provided in the City building valuation data.

6. No revisions or changes to the plans are allowed for “Master Plans” accompanied by a certified statement from BCD verifying compliance with the State building code.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0018

IMPLEMENTATION OF CODE CHANGES, INTERPRETATIONS AND POLICIES

Policy Summary:

Outlines the customer service policy for the Building/ Safety Division implementing new requirements through code changes, interpretations, policies, and similar processes.

Background:

Changes to existing code requirements can cause unnecessary delay and cost to our customers if not implemented appropriately. We have been successful in the past in coordinating the implementation of changes with our customers to minimize any adverse impacts. This policy documents the steps we have taken to assure this success.

Discussion:

When new code requirements are proposed, customers need to be made aware of the requirements prior to the implementation date and be provided with the opportunity to submit comments and/or questions regarding the proposed changes. The Building/ Safety Division needs to provide these opportunities. Outreach programs are provided through 'Doing Business with the City of Ashland' presentations.

In the case of statewide code changes, interpretations, or policies issued through the Building Codes Division, the Community Development Department will make every effort to provide our customers with the information well prior to the implementation date; however, the opportunity for input may be limited or nonexistent by the time we become aware of the change locally.

In the case of local interpretations or policies, we will make every reasonable effort to keep our customers informed of the upcoming changes.

Policy:

When new requirements affecting our customers are proposed for implementation through code changes, interpretations, policies, or similar processes, we will make every reasonable effort to:

- (a) inform affected customers of the requirements prior to the implementation date;
- (b) provide upon request a written copy of the requirements to any customer;

- (c) be prepared to clarify the details of the requirements for customers prior to implementation;
- (d) provide an opportunity for customers to submit comments and/or objections to locally proposed changes; and,
- (e) establish a reasonable implementation date that provides sufficient planning time for customers.



Policies / Interpretations / Procedures

BD-PP-0019

“OVER-THE-COUNTER” PLAN REVIEW APPLICATIONS

Policy Summary:

Describes the “Over-the-Counter” plan review program and provides information and guidelines for accepting applications.

Background:

The Building/ Safety Division has recognized a need for a process which allows staff to review and approve permit applications for minor work, associated with a tenant improvement or a single-family project, in a time frame other than the established plan review process requiring up to three weeks.

Discussion:

There are many examples of minor construction for which a customer must obtain a permit prior to commencing work. Until now, staff has had no identified method in which to process these types of projects in a timely manner. Historically, all construction permit applications have followed a prescribed routing process that required each application to wait in line for its turn in the review process, resulting in a 2 to 3 week period of time. Because of a desire to shorten the time required to obtain a permit for minor work, the City has adopted an “over-the-counter” (OTC) review and approval process identified in this policy and a subsequent procedure BD-PP-0027.

Policy:

1. A customer may request an OTC plan review for minor modifications associated with a tenant improvement or a single-family projects. For the purposes of this policy, an OTC review is one in which the customers plans can be reviewed and, if approved, a permit can be issued immediately. All applicable information required to conduct and complete the plan review must be presented at the time of the OTC appointment.
2. A plans examiner will be available to review OTC applications from 8:30 a.m. - 11:30 a.m. Thursdays.

3. The plans examiner will determine if the proposed work is minor enough in nature that a plan review can be completed within 15 - 20 minutes, thereby warranting an OTC review.
4. Plans with structural alterations may or may not be issued over the counter depending on the complexity of the structural alteration.
5. Plans requiring review and approval through the Land Development Code and/or City Engineering standards do not qualify for the OTC process.
6. The Inspector shall create a case through Eden following the review and approval. The Inspector will enter the applicable fees and conditions of approval into the case.

CITY OF ASHLAND



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BD-PP-0022

DETERMINATION OF VALUATION

Interpretation Summary:

Outlines the definition of valuation and a process for determining valuation.

Background:

Building permit fees are calculated on the basis of project valuation. Section 109 of the Oregon Structural Specialty Code (OSSC) and Section R108.3 of the Oregon Residential Specialty Code state that "building permit valuation shall be set by the building official." Because of questions from both staff and the development industry, this interpretation is provided.

Discussion:

For the purposes of calculating building permit fees, the OSSC and the Oregon Residential Specialty Code state as follows:

OSSC section 109 and ORS section R108.3: The applicant for a permit shall provide and estimated permit value at time of application. Permit valuations shall include total value of work, including materials and labor, for which the permit is being issued, such as electrical, gas, mechanical, plumbing equipment, and permanent systems. If, in the opinion of the building official, the valuation is underestimated on the application, the permit shall be denied, unless the applicant can show detailed estimates to meet the approval of the building official. Final building permit valuation shall be set by the building official.

In addition to the above language it is important to clarify that valuation also includes labor costs of the contractor, including profit and overhead. Valuation, therefore, includes all costs of the project and can normally be thought of as the "bid" amount from the contractor. If some work is planned but is not part of the bid, then the value of this

additional work must be added to the bid amount. In addition to the cost of land, site improvement costs such as parking lots, site utilities, and landscaping are not normally considered part of the project valuation.

In cases where the homeowner is doing the work without the involvement of a contractor, labor costs must be assumed and added to the material costs.

Because of the difficulty in obtaining accurate bid information, a valuation chart which establishes a cost per square foot for various types of structures has been adopted by the City. This chart is normally used for all new buildings and can also be used as a guide for additions to buildings. The basis for the chart data is published by the International Code Council (ICC). This chart is typically modified annually by the Building Official as updated by the ICC.

Establishing the valuation for remodels is more complex. There are several variables which influence valuation in these situations. Because of this complexity, the Plans Examiner will have the responsibility of working with the applicant in order to establish a valuation. A contract document may be requested.

Valuation is not intended to reflect the design costs of architectural or engineering fees.

Interpretation:

Valuation is defined in OSSC Section 109 and in Dwelling Code Section R108.3 and shall include all items which are part of the project costs including labor costs and contractor profit and overhead.

Valuation for new buildings shall be established through the use of the valuation chart adopted by the City and/or the contract document as determined by the Building Official. The valuation chart and/or contract document shall also be used as a guide in establishing valuation for additions to buildings. Valuation for remodeling projects shall be established by the Plans Examiner using all available information.

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BD-PP-0023

PLUMBING CONTRACTOR REGISTRATION AND LICENSING REQUIREMENTS

Interpretation Summary:

1. Outlines Construction Contractors Board registration exemptions for plumbing installations.
2. Outlines plumbing contractor registration exemptions.
3. Outlines plumbing certificate of competency (licensing) exemptions.
4. Clarifies the requirements for persons involved in sewer installations.
5. Defines the term "agent" as used in the permit application process.

Background:

Contractor registration statutes and rules are intended to increase the ability of the Construction Contractors Board (CCB) to monitor construction and bidding practices of contractors. Additional consumer safeguards are contained in statutes and rules related to plumbing contractor registrations and licenses. Several exemptions exist for each of the registrations and licenses.

Discussion:

The Construction Contractors Board (CCB) registration rules may be found in Oregon Revised Statute (ORS) 701, and exemptions are specifically listed in ORS 701.010. Plumbing contractor registration rules may be found in ORS 447, and exemptions are listed in ORS 447.060. Plumbing certificate of competency (licensing) rules may be found in ORS 693, and exemptions are listed in ORS 693.020.

The term "agent" is often used by permit applicants. These individuals are usually representing the legal owner of the property for convenience. This term has no legal standing in the statutes related to registration. A definition has been provided below for use by this office.

This interpretation describes exemptions relating to the issuance of a permit (1 and 2 below) and the work conducted on a jobsite (3 below).

Interpretation:

1. In order to be issued a plumbing permit, an applicant must be registered with the CCB unless exempted by ORS 701.010. These exemptions state that the following do not need to be registered with the CCB:

(a) A person who is constructing, altering, improving or repairing personal property.

(b) A person who is constructing, altering, improving or repairing a structure located within the boundaries of any site or reservation under the jurisdiction of the Federal Government.

(c) An owner who contracts for work to be performed by a licensed contractor. This subsection does not apply to a person who, in the pursuit of an independent business, constructs, remodels, repairs or for compensation and with the intent to sell the structure, arranges to have constructed, remodeled or repaired a structure with the intent of offering the structure for sale before, upon or after completion. It is prima facie evidence that there was an intent of offering the structure for sale if the person who constructed, remodeled or repaired the structure or arranged to have the structure constructed, remodeled or repaired does not occupy the structure after its completion.

(d) A person performing work on a property that person owns or performing work as the owner's employee, whether the property is occupied by the owner or not, or a person performing work on that person's residence, whether or not that person owns the residence. This subsection does not apply to a person performing work on a structure owned by that person or the owner's employee if such work is performed, in the pursuit of an independent business, with the intent of offering the structure for sale before, upon or after completion.

(e) A person licensed in one of the following trades or professions when operating within the scope of that license:

- An architect licensed by the State Board of Architect Examiners.
- A registered professional engineer licensed by the State Board of Examiners for Engineering and Land Surveying.
- A sewage disposal system installer licensed by the Department of Environmental Quality.
- A landscaping business licensed under ORS 671.510 to 671.710 that constructs fences, decks, arbors, driveways, walkways or retaining walls when:
 - > Performed in conjunction with landscaping work; or
 - > Not performed in conjunction with landscaping work and that has filed a bond under ORS 671.690 (1)(b).

2. In addition to the requirements of #1, a permit applicant must be registered as a plumbing contractor to obtain a plumbing permit unless exempted by ORS 447.060. There are several exemptions. A plumbing contractors license is not required for a person who is:

- (a) Engaging in plumbing work when not so engaged for hire.
- (b) Using the services of regular employees in performing plumbing work for the benefit of property owned, leased or operated by such employer.
- (c) Installing a building sewer (see 4 below).

These provisions apply to any person, including but not limited to, individuals, corporations, associations, firms, partnerships, joint stock companies, public and municipal corporations, political subdivisions, this state and any agencies thereof, and the federal government and any agencies thereof.

It must be noted that even if the plumbing permit applicant qualifies for an exemption and is not required to have a plumbing contractors license, the permit may not be issued unless the applicant specifies that the work will be accomplished by an individual who possesses a plumbing certificate of competency (license) if one is required (see 3).

3. In addition to the requirements of #1 and 2 regarding the issuance of a permit, the person conducting the plumbing work at the site must possess a State of Oregon plumbing certificate of competency (license) unless exempted by ORS 693.020. Some key exceptions and other points:

(a) No license is required for a person doing the person's own work on the person's own building on the person's own premises. This means that the owner must occupy the premises. There is an exception related to **repairs on residential** property which clarifies that the owner does not have to occupy the premises - see (b) below. Additionally, if it is a commercial property, then the property cannot be for sale, rent or lease - see (c) below.

(b) No license is required for a person who owns, leases or operates residential property, who is repairing or using regular employees to repair existing plumbing on property owned, leased or operated by the employer. "Repair" or "maintenance" means the act of replacing or putting together plumbing parts that restore the existing plumbing system to a safe and sanitary operating condition.

(c) A license is required for a person who is installing, remodeling or altering plumbing in a **commercial or industrial** building being constructed or being offered for sale, exchange, rent or lease. However, a person may **repair** plumbing in this same building without possessing a license.

Note: "installing, remodeling or altering" means activities which involve installation or changes to the plumbing inside a wall, floor, crawl space or ceiling, or a change in the configuration of a plumbing system.

(d) No license is required for a person who is installing a building sewer (see 4 below).

These provisions apply to any person, including but not limited to individuals, corporations, associations, firms, partnerships, joint stock companies, public and municipal corporations, political subdivisions, this state and any agencies thereof and the federal government and any agencies thereof.

4. Sewer installations “for hire” may be accomplished by anyone who is registered with the CCB.

ORS 701.138 states in part as follows:

Any person licensed under ORS 701.055 may install a building sewer after obtaining a permit for plumbing inspection under ORS 447.095. As used in this section, "building sewer" means that part of the system of drainage piping that conveys sewage into a septic tank, cesspool or other treatment unit that begins five feet outside the building or structure within which the sewage originates.

5. An "agent" of the owner is an individual who has written authorization to act in behalf of the legal owner in the application for and purchase of a permit.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0024

ELECTRICAL CONTRACTOR REGISTRATION AND LICENSING REQUIREMENTS

Interpretation Summary:

Outlines Construction Contractors Board registration and electrical contractor license exemptions for electrical installations.

Background:

Contractor registration statutes and rules are intended to increase the ability of the Construction Contractors Board (CCB) to monitor construction and bidding practices of contractors. Additional consumer safeguards are contained in statutes and rules related to electrical contractor licenses. Several exemptions exist for each of the registrations and licenses.

Discussion:

Construction Contractors Board (CCB) registration rules may be found in Oregon Revised Statute (ORS) 701, and exemptions are specifically listed in ORS 701.010. Electrical contractor licensing rules may be found in ORS 479, and exemptions are specifically listed in ORS 479.540.

Interpretation:

1. A permit applicant must be registered with the CCB to obtain an electrical permit unless exempted by ORS 701.010. There are several exemptions; however, those which are most applicable to our daily operation are:
 - (a) A person who is constructing, altering, improving or repairing personal property.
 - (b) A person who is constructing, altering, improving or repairing a structure located within the boundaries of any site or reservation under the jurisdiction of the Federal Government.

(c) An owner who contracts for work to be performed by a licensed contractor. This subsection does not apply to a person who, in the pursuit of an independent business, constructs, remodels, repairs or for compensation and with the intent to sell the structure, arranges to have constructed, remodeled or repaired a structure with the intent of offering the structure for sale before, upon or after completion. It is prima facie evidence that there was an intent of offering the structure for sale if the person who constructed, remodeled or repaired the structure or arranged to have the structure constructed, remodeled or repaired does not occupy the structure after its completion.

(d) A person performing work on a property that person owns or performing work as the owner's employee, whether the property is occupied by the owner or not, or a person performing work on that person's residence, whether or not that person owns the residence. This subsection does not apply to a person performing work on a structure owned by that person or the owner's employee if such work is performed, in the pursuit of an independent business, with the intent of offering the structure for sale before, upon or after completion.

(e) A person licensed in one of the following trades or professions when operating within the scope of that license:

- An architect licensed by the State Board of Architect Examiners.
- A registered professional engineer licensed by the State Board of Examiners for Engineering and Land Surveying.
- A landscaping business licensed under ORS 671.510 to 671.710 that constructs fences, decks, arbors, driveways, walkways or retaining walls when:

> Performed in conjunction with landscaping work; or

> Not performed in conjunction with landscaping work and that has filed a bond under ORS 671.690 (1)(b).

2. In addition to the requirements of item #1, an applicant for an electrical permit must possess a State of Oregon electrical contractor's license unless exempted by ORS 479.540. The exemptions which are most applicable to our daily operation are:

(a) No person is required to obtain a license to make an electrical installation on property that is owned by the person or a member of the person's immediate family if the property is not intended for sale, exchange, lease or rent. However, the following clarification was established for **residential** property covered by this subsection:

If the property is a building used as a residence and is for rent, lease, sale or exchange, this subsection establishes an exemption for work on, alterations to or replacement of parts of electrical installations as necessary for maintenance of the existing electrical installations on that property, but does not exempt new electrical installations or substantial alterations to existing electrical installations on that property. As used in this paragraph, "new electrical installations or substantial alterations" does not include the replacement of an existing garbage disposal, dishwasher or electric hot water heater

with a similar appliance of 30 amps or less, single phase, by a landlord, landlord's agent or the employee of the landlord or landlord's agent.

(b) No electrical contractor license is required in connection with an electrical installation to be made by a person on the person's property in connection with the person's business.

NOTE: Some low-voltage installations require only CCB registration, and, in some cases, a low-voltage license as opposed to an electrical contractors license.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0025

SHOWER AND BATH SPACES

Interpretation Summary:

Specifies the areas in bath and shower spaces that must be finished with nonabsorbent surfaces.

Background:

Section R307.2 of Oregon Residential Specialty Code (ORSC) has been interpreted several different ways. This interpretation applies to the City of Ashland.

Discussion:

Section R307.2 is somewhat vague as to the specific areas that need to have a nonabsorbent surface in bath and shower areas. Some jurisdictions require that this type of surface be installed on all floors and walls in a bathroom. Other jurisdictions are much less stringent. We have reviewed the issue and developed the interpretation below.

Interpretation:

The first sentence of Section R307.2 of the Oregon Residential Specialty Code (ORSC) is interpreted as follows:

- (1) If a premanufactured fiberglass shower/tub unit is installed, the fiberglass is sufficient to meet the requirements of the code section and no water resistant gypsum board or other such backing is required other than that required by the manufacturer.
- (2) If the unit is site-built, or if the premanufactured tub unit also has a shower head which is not part of a fiberglass unit, water resistant gypsum board or an approved equivalent will be required as backing for the required finish material for the enclosure to a height of 6 feet above the floor of the enclosure.
- (3) Units such as jacuzzis, whirlpools, soaking tubs, etc. meet the definition of “bathtubs” and must comply with this code section.
- (4) Other than within shower/bath enclosures, floors need not be finished with nonabsorbent surfaces.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0026

SEWER CONTRACTOR LICENSING REQUIREMENTS

Interpretation Summary:

Clarifies licensing and registration requirements for sewer contractors.

Background:

Because of changes in Oregon Revised Statutes (ORS) there is some confusion regarding the required licenses and/or registrations for sewer contractors.

Discussion:

ORS 447.030 outlines the requirements for the registration of businesses performing work defined as plumbing. There appears to be no exemptions in this ORS for sewer contractors because the installation of sewers is defined as plumbing work. ORS 693.030 outlines the licensing requirements for plumbers, journeymen and apprentices. Again, there appears to be no exemptions for sewer contractors. However, ORS 701.138 provides an exemption from plumbing business registration and plumbing licensing for sewer contractors as follows:

(3) Any person registered under ORS 701.055 may install a building sewer after obtaining a permit for plumbing inspection under ORS 447.095.

Interpretation:

Any person appropriately registered through the Construction Contractor's Board may install building sewers without meeting the plumbing business registration or plumbing licensing requirements of ORS 447 and 693.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0027

ISSUING OVER-THE-COUNTER PERMITS

Procedure Summary:

1. Outlines a procedure for the issuance of an over-the-counter (OTC) permit for simple permit applications subject to state and local codes and ordinances.
2. Outlines a method to determine which applications are eligible for an OTC review.

Background:

There are many times when our customers apply for a permit to conduct work that is minor in nature including renovations, repairs and/or replacement of existing equipment. In the past, there has been no method in which to process these requests in a timely fashion other than the established application process. The Community Development staff has recognized a need to streamline this process under certain conditions based on the scope of work and the type of permit required. Several important issues must be addressed by City staff and the applicant prior to OTC permit issuance. This procedure describes the method in which to accomplish this.

Discussion:

When reviewing a permit application for an OTC permit, staff first must determine if the proposed work requires a permit, second, if the application qualifies for work of a minor nature as defined in BD-PP-0019, and third, if the application has complete information.

Procedure:

When reviewing an application for an OTC permit, the following procedure shall be followed:

1. A Inspector will meet with the applicant at the designated times identified in BD-PP-0019 unless the applicant has previously contacted the Inspector and arranged for another time.
2. An Inspector will determine if the application requires a permit and if so,

that it qualifies for an OTC permit. OTC permits must fall within the parameters defined in BD-PP-0019.

3. If the Inspector determines that the application qualifies for an OTC permit, he/she review the information to ensure that complete data has been provided and will work with the applicant to complete the review and issue the permit.
4. A Permit Technician will ensure that the permit application is filled out completely.
5. If the Inspector determines that a brief consultation with coworkers Representing Planning and/or Public Works will allow him/her to issue the permit OTC, he/she may elect to gain clarification of minor issues related to the application.
6. The Inspector will review the work for compliance with the applicable code(s) and specific issues associated with the successful completion of the proposed work to ensure that the work does not lessen health, life, and/or fire safety requirements or compromise the integrity of the structure in any way. He/she will thoroughly discuss the results of the plan review with the customer at the counter.
7. Once the Inspector has determined that the permit can be issued OTC, he/she will add the appropriate fees and conditions necessary to clarify the code requirements and sign off the plan review activity in the permit case. A Permit Technician will then collect the fees and issue the permit.

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0028

SPECIAL INSPECTION AND TESTING AGREEMENT

Policy Summary:

Provides method for permit applicants requiring Special Inspection and/or Testing in accordance with Chapter 17 of the Oregon Structural Specialty Code (OSSC).

Background:

Chapter 17 of the Oregon Structural Specialty Code (OSSC) states: *An approved agency shall provide all information necessary for the Building Official to determine that the agency meets the applicable requirements.*

Discussion:

Due to the prescriptive requirements of Chapter 17 of the Oregon Structural Specialty Code (OSSC), it has become necessary to implement a Special Inspection and/or Testing Agreement between an *approved agency* and the Building Official to ensure that the requirements of Chapter 17 are satisfied.

Policy:

To permit applicants of projects requiring Special Inspection and/or Testing per Chapter 17 of the Oregon Structural Specialty Code (OSSC), a Special Inspection and Testing Agreement must be obtained, completed, reviewed and approved by the Building Official prior to the permit being issued. The agreement is available at the front counter of the Building Division and on our website at <http://ashland.or.us/>.

This process is outlined as follows:

BEFORE A PERMIT CAN BE ISSUED: The owner, engineer or architect of record, acting as the owner's agent, shall complete two (2) copies of this agreement, including the required acknowledgments. A pre-construction conference with the parties involved may be required to review the special inspection requirements and procedures.

APPROVAL OF SPECIAL INSPECTORS: Each special inspector shall submit his/her qualifications to the building official. The building official shall approve each special inspector prior to permit issuance and prior to performing any duties. Special inspectors shall display identification, as stipulated by the building official, when performing the function of a special inspector.

Special inspection and testing shall meet the minimum requirements of OSSC Chapter 17. The following conditions are also applicable:

A. Duties and responsibilities of the Special Inspector

1. Observe work

The special inspector shall observe the work for conformance with the building department approved (stamped) design drawings and specifications and applicable workmanship provisions of the OSSC. Architect/engineer reviewed shop drawings and/or placing drawings may be used only as an aid to inspection. Special inspections are to be performed on a continuous basis, meaning that the special inspection is on site in the general area at all times observing the work requiring special inspection. Periodic inspections, if any, must have prior approval by the building official and the architect and/or engineer of record.

2. Report non-conforming items

The special inspector shall bring non-conforming items to the immediate attention of the contractor and note all such items in the daily report. If any item is not resolved in a timely manner or is about to be incorporated in the work, the special inspector shall immediately notify the building department by telephone or in person, notify the engineer or architect, and post a discrepancy notice.

3. Furnish daily reports

On request, each special inspector shall complete and sign both the special inspection record and the daily report for each day's inspection to remain at the job-site with the contractor for review by the building department's inspector.

4. Furnish weekly reports

The special inspector or inspection agency shall furnish weekly reports of tests and inspections directly to the building department, architect and engineer of record, and others as designated. These reports must include the following:

- a. Description of daily inspections and tests made with applicable locations;
- b. Listing of all non-conforming items;
- c. Report on how non-conforming items were resolved or unresolved as applicable; and
- d. Itemized changes authorized by the architect, engineer and building department if not included in non-conforming items.

5. Furnish Final Report

The special inspector or inspection agency shall submit a final report to the building department stating that all items requiring special inspection and testing were fulfilled and reported and, to the best of his/her knowledge, in conformance with the approved design drawings, specifications, approved change orders and the applicable workmanship provisions of the OSSC. Items not in conformance, unresolved items or any discrepancies in inspection coverage (i.e., missed inspections, periodic inspections when continuous was required, etc.) shall be specifically itemized in this report.

B. Contractor's Responsibilities

1. Notify the special inspector

The contractor is responsible for notifying the special inspector or agency regarding individual inspections for items listed on the attached schedule and as noted on the building department approved plan. Adequate notice shall be provided so that the special inspector has time to become familiar with the project.

2. Provide access to approved plans

The contractor is responsible for providing the special inspector access to approved plans at the job-site.

3. Retain special inspection records

The contractor is also responsible for retaining at the job-site all special inspection records submitted by the special inspector, and providing these records for review by the building department's inspector upon request.

C. Building Department Responsibilities

1. Approve special inspection

The building department shall approve all special inspection and special inspection requirements.

2. Monitor special inspection

Work requiring special inspection and the performance of special inspectors shall be monitored by the building department's inspector. His/her approval must be obtained prior to placement of concrete or other similar activities in addition to that of the special inspector.

3. Issue Certificate of Occupancy

The building department may issue a Certificate of Occupancy after all special inspection reports and the final report have been submitted and accepted.

D. Owner Responsibilities

The owner or the engineer/architect of record acting as the owner's agent shall:

- 1. Obtain and fund special inspection services by contract with an *agency* approved by the Building Official.**
- 2. Submit the signed Special Inspection and Test Agreement to the building official prior to permit issuance.**
- 3. Obtain and fund structural observation by engineer of record as required by section 1702 of the OSSC.**

E. Engineer or Architect of Record Responsibilities

The engineer or architect of record shall include special inspection requirements on the plans and specifications.



CITY OF ASHLAND
BUILDING SAFETY DIVISION

SPECIAL INSPECTION AND TESTING AGREEMENT

This agreement shall be submitted by permit applicants of projects requiring special inspection and/or testing per Chapter 17 of the State of Oregon Structural Specialty Code (OSSC).

PROJECT NAME: _____
PROJECT ADDRESS: _____
BUILDING PERMITS NUMBER: _____ Date Issued: _____

BEFORE A PERMIT CAN BE ISSUED: The registered design professional in responsible charge, or qualified person approved by the building official for construction not designed by a registered design professional, shall complete: this agreement, including the Statement of Special Inspections, and a Statement of Special Inspection Schedule. A pre-construction conference with the parties involved may be required to review the special inspection requirements and procedures.

APPROVAL OF SPECIAL INSPECTORS: Special inspectors shall have no financial interest in projects for which they provide special inspection. Each special inspector shall submit their qualifications to the building official. The building official shall approve each special inspector prior to permit issuance and prior to performing any duties. Special inspectors shall display identification, as stipulated by the building official, when performing the function of a special inspector.

Special inspection and testing shall meet the minimum requirements of OSSC Chapter 17. The following conditions are also applicable:

A. Duties and responsibilities of the Special Inspector

1. Observe work

The special inspector shall observe the work for conformance with the building department approved (stamped) design drawings and specifications and applicable workmanship provisions of the OSSC. Architect/engineer reviewed shop drawings and/or placing drawings may be used only as an aid to inspection. Special inspections are to be periodic or continuous as identified in the Statement of Special Inspections.

2. Reporting (1704.2.4)

The special inspector shall keep records of inspections and shall bring non-conforming items to the immediate attention of the contractor and note all such items in the daily report. If any item is not resolved in a timely manner or is about to be incorporated in the work, the special inspector shall immediately notify the building department by telephone or in person, notify the engineer or architect, and post a discrepancy notice.

3. Furnish daily reports

On request, each special inspector shall complete and sign both the special inspection record and the daily report for each day's inspection to remain at the job-site with the contractor for review by the building department's inspector.

4. Furnish weekly reports

The special inspector or inspection agency shall furnish weekly reports of tests and inspections directly to the building department, architect and engineer of record, and others as designated. These reports must include the following:

- a. Description of daily inspections and tests made with applicable locations;
- b. Listing of all non-conforming items;
- c. Report on how non-conforming items were resolved or unresolved as applicable; and
- d. Itemized changes authorized by the architect, engineer and building department if not included in non-conforming items.

5. Furnish Final Report

The special inspector or inspection agency shall submit a final report to the building department stating that all items requiring special inspection and testing were fulfilled and reported and, to the best of his/her knowledge, in conformance with the approved design drawings, specifications, approved change orders and the applicable workmanship provisions of the OSSC. Items not in conformance, unresolved items or any discrepancies in inspection coverage (i.e., missed inspections, periodic inspections when continuous was required, etc.) shall be specifically itemized in this report.

B. Contractor's Responsibilities

1. Notify the special inspector

The contractor is responsible for notifying the special inspector or agency regarding individual inspections as identified in the statement of special inspection. Adequate notice shall be provided so that the special inspector has time to become familiar with the project.

2. Provide access to work and approved plans (1704.2.2)

The contractor is responsible for providing the special inspector access to approved plans at the job-site.

3. Retain special inspection records

The contractor is also responsible for retaining at the job-site all special inspection records submitted by the special inspector, and providing these records for review by the building department's inspector upon request.

4. Statement of Responsibility for Construction of Force-Resisting System (1704.5)

Construction of a wind- or seismic-resisting component listed in the statement of special inspections requires submittal of a written statement of responsibility by the Contractor.

5. Records

The contractor is also responsible for retaining at the job-site all special inspection records submitted by the special inspector, and providing these records for review by the building department's inspector upon request.

C. Building Department Responsibilities

1. Approve special inspection

The building department shall approve all special inspection and special inspection requirements.

2. Monitor special inspection

Work requiring special inspection and the performance of special inspectors shall be monitored by the building department’s inspector. His/her approval must be obtained prior to placement of concrete or other similar activities in addition to that of the special inspector.

3. Issue Certificate of Occupancy

The building department may issue a Certificate of Occupancy after all special inspection reports and the final report have been submitted and accepted.

D. Owner Responsibilities (or Owners Agent)

The owner or the Registered Design Professional in Responsible Charge acting as the owner’s agent shall:

1. Obtain and fund special inspection services by contract with an *agency* approved by the Building Official.
2. Submit the signed Special Inspection and Test Agreement to the building official prior to permit issuance.
3. Submit the Statement of Special Inspection to the building official prior to permit issuance.
4. Obtain and fund structural observation by engineer of record as required by Chapter 17 of the OSSC.

E. Engineer or Architect of Record Responsibilities (design may be by a qualified person approved by the building official for construction not designed by a registered design professional):

1. Provide a Statement of Special Inspection per 1704.3.
2. The engineer or architect of record shall include special inspection requirements on the plans and specifications.

ACKNOWLEDGEMENTS

I have read and agree to comply with the terms and conditions of this agreement.

Owner: _____ By: _____ Date: _____

Contractor: _____ By: _____ Date: _____

Special Inspection Agency: _____ By: _____

Date: _____

Project Engineer/Architect: _____ By: _____

Date: _____

RECEIVED FOR THE CITY OF ASHLAND BUILDING SAFETY DIVISION

By: _____ Date: _____

SUMMARY OF SPECIAL INSPECTION, TESTING, CONTRACTOR STATEMENT OF RESPONSIBILITY, AND STRUCTURAL OBSERVATION

(Per the 2014 Oregon Structural Specialty Code)

NOTE: Fill out and attach Schedule of Inspection Form

General:

- Contractor's Statement of Responsibility for Seismic Resistance – 1704.2.5 & 1704.2.5.1**
Construction of a Main Wind or Seismic Force-Resisting component listed in statement of Special Inspection requires Contractor's Statement of Responsibility.
- Structural Observation for Seismic Resistance – 1704.5.2**

Special Inspections:

- Shop Fabrication of Load Bearing Members – 1704.2.5 & 1704.2.5.1**
- Steel Construction – 1705.2**
- Concrete Construction – 1705.3**
- Masonry Construction – 1705.4**
- Wood Construction – 1705.5**
- Soils – 1705.6**
- Deep Driven Foundation – 1705.7**
- Cast-in Place Deep Foundation – 1705.8**
- Special Inspection for Seismic Resistance – 1705.11**
 - Structural Steel – 1705.11.1**
 - Structural Wood – 1705.11.2**
 - Cold-formed Steel Light-frame Construction – 1705.11.3**
 - Designated – 1705.11.4**
 - Architectural Components – 1705.11.5**
 - Access Floors – 1705.11.6**
 - Mechanical and Electrical Components – 1705.11.1**
 - Storage Racks – 1705.11.7**
 - Isolation Systems – 1705.11.8**
- Structural Testing for Seismic Resistance – 1705.12**
- Spray Fire-Resistant Materials – 1705.13**

Miscellaneous Special Inspections:

- Mastic and Intumescent Fire-Resistant Coatings – 1705.14**
- Exterior Insulation and Finish Systems (EIFS) – 1705.15**
- Fire-resistant Penetrations and Joints – 1705.16**
- Special Inspection for Smoke Control – 1705.17**
- Random Mitigation Inspections – 1705.18**

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0029

STORM WATER DRAINAGE SYSTEMS

Procedure Summary:

Defines the terms "adequate drainage" and "approved drainage system" as referenced in the Oregon Residential Specialty Code (ORSC).

Background:

The Oregon Residential Specialty Code (ORSC) contains very few specific provisions related to the collection and proper discharge of storm water. Section R405 contains language which addresses the installation of drains for concrete foundations enclosing habitable or useable space below grade. Section R401.3 states as follows:

Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded so as to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet.

Exception: Where lot lines, walls, slopes or other physical barriers prohibit 6 inches of fall within the first 10 feet, drains or swales or other means shall be provided, and shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

Section R408.5 states as follows:

The finished grade of underfloor space may be located at the bottom of the footings; however, where there is evidence that the groundwater table can rise to within 6 inches of the finished grade at the building perimeter or where there is evidence that surface water does not readily drain from the building site, the grade in the underfloor space shall be as high as the outside finished grade, unless an approved drainage system is provided.

In the latter two sections the terms "approved point of collection" and "approved drainage system" are not defined. This implies the Building Official may define these terms in order to assure proper disposal of storm water based on local conditions.

Additionally, the Oregon Plumbing Specialty Code (OPSC) section 1101.1 pertaining to storm water drainage states as follows:

Where Required. *Roofs, paved areas, yards, courts, courtyards, vent shafts, light wells, or similar areas having rainwater, shall be drained into a separate storm sewer system, or into a combined sewer system where a separate storm sewer system is not available, or to some other place of disposal satisfactory to the Building Official.*

Discussion:

The control of storm water runoff/discharge helps to assure that damage to adjacent buildings and properties will be minimized. Without a roof drain system, buildings can be adversely affected. Once the roof water is collected, a proper method of disposal must be assured to minimize potential effects on the structure from which it is collected and to surrounding properties. Appropriate lot drainage must also occur to minimize the potential for damage to structures. Additionally, proper underfloor drainage must be assured to minimize future structural damage.

NOTE: Because of soil types, natural drainage patterns, land contours, community expectations, and the potential for liability, we have concluded that storm water from all impervious surfaces and runoff associated with peak rainfalls must be collected on site and channeled to the City storm water collection system (curb gutter at public street, public storm pipe or public drainage way). The on-site collection system consists of roof gutters, downspout leaders, perimeter foundation drainage systems, catch basins, area drains, underground piping, and the channels created through the lot grading process. Additionally, the crawlspace areas must be well-drained in all cases.

Policy:

The term "adequate drainage" as referenced in Section R401.3 of the Oregon Residential Specialty Code (ORSC) is defined as lot grading such that storm water runoff is (a) collected and channeled away from all structures on the lot and in a manner where the runoff will not cross a property line without proper approval, and in turn (b) discharged into the City storm water collection system (curb gutter at public street, public storm pipe or public drainage way).

The term "approved drainage system" as referenced in Section R408.5 of the Oregon Residential Specialty Code (ORSC) consists of three related systems:

- Roof Drain System - consists of roof gutters, downspout leaders, and underground piping system which collects and conducts this water to the City storm water collection system.
- Underfloor Drainage System - consists of an underfloor drain or sump placed at the lowest point or points of the crawl space, and piping which channels this water to the City storm water collection system.
- Perimeter Foundation Drainage System - consists of a perforated drainage pipe placed around the perimeter of the building or crawlspace at/or below footing level, and the related gravel backfill.

Backwater valves are required whenever drainage piping is subject to reverse flow (i.e.: at the connection between a low point crawlspace drain and perimeter foundation drains or roof drains, or at the connection between roof drains and perimeter foundation drains.)

The inspector is authorized to allow all or part of the perimeter or underfloor drain to be eliminated in cases where it would be of no practical use. Examples:

Perimeter Drain

- The downhill side of a foundation on a steeply sloped lot.
- Around a foundation on a flat lot which has a significant slope away from the foundation walls on all sides.

Underfloor Drain

- Small additions to structures that do not have an existing approved underfloor or perimeter drainage system.

The underfloor drain must be installed such that the drain inlet is turned at a minimum of 45 degrees from the horizontal in the underfloor space and must be protected by a strainer device with no openings exceeding ½” in the least dimension. The inspection of this drain will occur in conjunction with the foundation inspection or the post/beam inspection. Drywells, splash blocks, or any other alternate methods are permitted only through the approval of the Building Official.

**Note: In accordance with green building practices, this policy promotes the installation and incorporation of listed and approved engineered bioswale systems within the onsite storm drainage system.*

CITY OF ASHLAND



Policies / Interpretations / Procedures

BD-PP-0030

CHANGE OF USE OR OCCUPANCY

Procedure Summary:

Provides method for permit applicants requesting the Change of Use or Occupancy of an existing building occupancy classification to obtain a Change of Use Certificate of Occupancy.

Background:

The Oregon Structural Specialty Code (OSSC) contains provisions to control the classification of all buildings and structures as to the use and occupancy.

Section 302.1 states as follows:

Structures or portions of structures shall be classified with respect to occupancy in one or more groups listed in this section. A room or space that is intended to be occupied at different times for different purposes shall comply with all of the requirements that are applicable to each of the purposes for which the room or space will be occupied. Structures with multiple occupancies or uses shall comply with section 508. Where a structure is proposed for a purpose that is not specifically provided for in this code, such structure shall be classified in the group that the occupancy most nearly resembles, according to the fire safety and relative hazard involved.

Section 111.1 states as follows:

No building or structure shall be used or occupied, and no change in the existing character, use or occupancy classification of a building or structure or portion thereof shall be made, until the Building Official has issued a certificate of occupancy for such change in character, use or occupancy thereof as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this code or other ordinances of the jurisdiction.

Discussion:

Often times a request is made to the Building Official to approve the Change of Use or Occupancy of an existing building or structure. The Oregon Structural Specialty Code

(OSSC) contains provisions for the Change of Use or Occupancy of an existing building or structure.

Section 102.6 states as follows:

The legal occupancy of any structure existing on the date of adoption of this code shall be permitted to continue without change, except as specifically covered in this code or the Fire Code, or as deemed necessary by the Building Official for the general safety and welfare of the occupants and the public.

Section 3408.1 states as follows:

No change shall be made in the use or occupancy of any building that would place the building in a different division of the same group of occupancies, unless such building is made to comply with the requirements of this code for such division or group of occupancies. Subject to the approval of the Building Official, the use or occupancy of existing buildings shall be permitted to be changed and the building is allowed to be occupied for purposes in other groups without conforming to all the requirements of this code for those groups, provided the new or proposed use is less hazardous, based on life and fire risk, than the existing use.

Section 3408.2 states as follows:

A Certificate of Occupancy shall be issued where it has been determined that the requirements for the new occupancy classification have been met.

Policy:

Applicants seeking the Change of Use or Occupancy of an existing building or structure considered to be non-exempt (per ORS 671.030), shall first make application for such Change of Use or Occupancy to the Building Official and obtain the necessary inspections and approvals for a *Change of Use Certificate of Occupancy*.

The permit application shall include three copies of a complete code analysis, prepared by a *registered design professional*. A review of the code analysis will be performed by the Building Official to determine if additional work is required to meet the code requirements for the new occupancy. Hourly plan review and/or inspection investigation fees will be charged as described in the City of Ashland Miscellaneous Fees and Charges Document. If additional work is required, applicable permit and plan review fees will be charged, in addition to the investigation fees.

BD-PP-0031 - Work done without permits and/or inspections

Policy: Work done without permits and/or inspections

Revised: 4/11/2018

Summary: This policy establishes the procedures required for work done without permits.

Oregon state law and building codes require that a permit be obtained prior to construction, alteration, installation of non-exempt work and that the Building Safety Department inspect and approve each phase prior to continuing to the next phase as noted in the following code sections. Construction documents are required to be submitted, reviewed and approved prior to permit issuance, construction and inspection.

As defined in Oregon State Law and Building Codes, the role of the Building Official is to examine submitted documents to determine if the proposed work conforms to state building codes, laws and ordinances (R104.2). The documents submitted are required to show the proposed work in sufficient detail (R105.3, R105.3.1, R106.1, R106.1.1, R106.3). Documents for certain structures always require a Registered Design Professional (RDP: Oregon-licensed Architect or Engineer). The Building Official is authorized to require additional documents to be prepared by a RDP (e.g. R106.1, R109.1.5) and such is the case for work done without the required plan-review, permits and inspections.

Field inspections by the Building Safety Department are to verify that the work being done is in conformance with the reviewed and approved documents. For work done without permits and/or not inspected (R108.6), documents describing the work are required as described in item 3 below. A structural investigation by an RDP is required as described in item 7 and the report shall be provided to Building Safety to be included in the construction documents. Field-evaluation/design/engineering for work done without the proper permits and inspections is not the role of the Building Safety Department.

OSSC 109.4 Work without a permit: fees.

*Any person who commences any work on a building or structure before obtaining the necessary permits shall be subject to an **investigation fee**. The amount of the investigative fee shall be the average or actual additional cost of ensuring that a building or structure is in conformance with this code and shall be in addition to the required permit fees.*

(Note: The hourly Investigation Fee is per the current approved fee table. See Building Safety).

See the itemized procedures on the following page.

The following items and procedures are required for work that has occurred without the necessary permits and/or inspections:

1. Planning approval
2. Floor plans showing the work that was done including:
 - a. Walls.
 - b. Window and door locations and sizes.
 - c. Dimensions showing distance to walls, doors, windows.
 - d. Name/use of rooms.
 - e. Plumbing fixture locations in kitchen and bathrooms.
 - f. Site plan showing distance to property lines, other structures, etc.
3. The plan shall be submitted to the Building Safety Department for initial review. The review of the plan will be limited to initial identification of Fire and Life-Safety concerns such as egress, smoke detectors, safety glazing, etc. After initial plans have been reviewed (including the additional items described below), the applicant/owner shall obtain a building permit with payment of the applicable fees for the work that has been done based on the valuation of construction. Applicable “investigation fees”, as noted above, are required to be paid in full prior to final inspection by Building Safety.
4. The applicant/owner shall obtain a **plumbing** permit along with payment of the applicable fees for plumbing work that has been done without permit(s). The applicant/owner shall hire an Oregon licensed plumbing contractor to evaluate, to the extent possible, any plumbing work done and provide the building department with a letter stating their findings. Any remedial or repair work required to be done shall require an additional permit which shall be purchased in the name of the owner or plumbing contractor doing the work. Applicable “investigation fees”, as noted above, are required to be paid in full prior to final inspection by Building Safety.
5. The applicant/owner shall obtain an **electrical** permit along with payment of the applicable fees for electrical work that has been done without permit(s). The applicant/owner shall hire an Oregon licensed electrical contractor to evaluate, to the extent possible, any electrical work done and the contractor shall provide the building department with a letter signed by the “**signing supervisor**” stating their findings. Any remedial or repair work required to be done shall require an additional permit which shall be purchased in the name of the owner or electrical contractor doing the work. Applicable “investigation fees”, as noted above, are required to be paid in full prior to final inspection by Building Safety.
6. The applicant/owner shall obtain a structural investigation by an **Oregon-Licensed Architect or Engineer (Registered Design Professional-RDP)** and a report shall be provided to Building Safety for review. The report shall describe the structure and shall state that the structure meets the prescriptive requirements of the applicable code(s) or if the structure requires an engineered analysis and design. For structures requiring design (as originally constructed or due to current condition), additional information shall be submitted, including analysis, and shall address any areas deemed non-compliant, deficient or otherwise in need of remedial work sufficient to deem reasonably compliant. This shall include necessary calculations, plans and details and shall be prepared, stamped and signed by the RDP and shall be reviewed by the Building Official.

For structures other than single-family-dwellings, the report shall also include applicable requirements of the Oregon Structural Specialty Code (OSSC) including, but not limited to, Means of Egress, Occupancy and Type of Construction, Fire-rated Construction, Accessibility, etc. This shall include plans and details of existing conditions and remedial work and shall be prepared, stamped and signed by the RDP and shall be approved by the Building Official.

Remedial work, if required, shall require a permit in accordance with the code(s) prior to the work being done. Building Safety inspections are required in accordance with the work being done as prescribed in the applicable code(s) and permits issued.

(Note: RDP investigation requirements are in accordance with Section 104.4 of the Oregon Structural Specialty Code and the Oregon Residential Specialty Code.)

After completing the steps noted above, and addressing any outstanding issues, inspections shall be requested by the permittee and the Building Safety inspector will visit the site and make inspections of work as required and observations of any visible deficiencies (primarily Fire & Life Safety items such as smoke detectors, handrails, guardrails, etc.). Upon completion, the permit(s) will be filed as permanent record.

Note: The steps outlined above are an attempt to primarily verify, to the extent possible, that Fire and Life-Safety concerns comply with the State's minimum code. Items not seen and that cannot be verified by the RDP or by Building Safety inspectors, such as footing reinforcement, wall insulation/vapor barrier, framing, etc., are beyond the scope of this remedial permit/inspection process.

Built structures require maintenance and upkeep. Specifically, those portions exposed to weather such as decks and balconies. Typically, the construction under consideration is not new construction. Therefore, it is beyond the scope of the inspection from Building Safety to evaluate or determine the extent of weatherization, dry rot or other inefficiencies caused by the lack of maintenance. In addition to the RDP structural investigation, **it is strongly advised that the owner hire a private home inspector to more thoroughly investigate other aspects of the structure.**

The issuance of a "Certificate of Occupancy" (C of O) became effective with recent codes. However, for work previously done without permits, **a C of O will NOT be issued** since it is not new work and, despite the efforts above, it is not possible to verify code-compliance for all items.

Building Official:
Steven Matiaco
51 Winburn Way
Ashland, OR 97520



Building Miscellaneous Fees and Charges

Permit Fees for Commercial and Residential

In accordance with OAR 918-050-0100: "Residential construction permit fees shall be calculated using the following methodologies. (c) Effective January 1, 2009, a structural permit fee for new construction and additions shall be calculated using the ICC Building Valuation Data Table current April 1 of each year, multiplied by the square footage of the dwelling unit to determine the valuation. The valuation shall then be applied to the municipality's fee schedule to determine the permit fee. The plan review fee shall be based on a pre-determined percentage of the permit fee set by the municipality. (A) The square footage of a dwelling, addition, or garage shall be determined from outside exterior wall to outside exterior wall for each level. (B) The square footage of a carport, covered porch, or deck shall be calculated separately at fifty percent of the value of a private garage from the ICC Building Valuation Data Table current as of April 1. (C) Permit fees for an alteration or repair shall be calculated based on the fair market value as determined by the Building Official, and then applying the valuation to the municipality's fee schedule

Commercial construction permit fees shall be calculated using the following methodologies. (c) A structural permit fee shall be calculated by applying the valuation to the municipality's fee schedule with a set minimum fee. Valuation shall be the greater of either. (A) The valuation based on the ICC Building Valuation Table current as of April 1 of each year, using the occupancy and construction type as determined by the Building Official, multiplied by the square footage of the structure; or (B) The value as stated by the applicant and approved by the building official. (C) When the construction or occupancy does not fit the ICC Building Valuation Data Table, the valuation shall be determined by the Building Official with input from the applicant."

Structural Building Permit Fees

Fee Description	2024/2025 Fee
Total Value of Work Performed	
\$1.00 to \$500.00	\$90.00 per hour
\$501.00 to \$2,000.00	\$90.00 for the first \$500.00 plus \$10.00 for each additional \$1000.00 or fraction thereof, to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$110.00 for the first \$2,000.00 plus \$8.00 for each additional \$1,000.00 or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$294.00 for the first \$25,000.00 plus \$8.00 for each additional \$1,000.00 or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$494.00 for the first \$50,000.00 plus \$5.00 for each additional \$1,000.00 or fraction thereof, to and including \$100,000.00
\$100,001.00 and up	\$744.00 for the first \$100,000.00 plus \$4.00 for each additional \$1,000.00 or fraction thereof

Plan Review Fee for Commercial and Residential

Fee Description	2024/2025 Fee
Plan Review Fee	A plan review fee equal to 65% of the structural permit fee shall be due at application
Fire and Life Safety Plan Review <i>(When applicable)</i>	40% of permit fee
Additional Plan Review Required By Changes, Additions, or Revisions	\$90.00 per hour (1/2-hour minimum) Plus valuation increase based on tables
Special Inspection Agreement (QAA) Review Fee	\$90.00 per hour
Foundation Only	\$275.00 + 10% of the total building permit fee for each phase of work. Not to exceed \$1,500.00 for each phase.
Residential Deferred Submittal Fee	65% of the structural permit fee calculated using the total valuation of the deferred portion + \$100.00 per deferred item
Commercial Deferred Submittal <i>(Payable at building plan review and is in addition to plan review of deferred work)</i>	65% of the structural permit fee calculated using the total valuation of the deferred portion + \$100.00 per deferred item
Phased Permit Fee	\$275.00 per phase + 10% of the total building permit fee for each phase of work. Not to exceed \$1,500.00 for each phase.
Shell Building and Tenant Improvement Spaces	Permit fee for the construction of the shell building is based on 80% the valuation determined by building valuation data. The tenant improvement permit fee is based on 20% of the valuation.
Foundation Only	\$275.00 + 10% of the total building permit fee for each phase of work. Not to exceed \$1,500.00 for each phase

Miscellaneous Fees for Commercial

Fee Description	2024/2025 Fee
Commercial Fire Sprinkler/Fire Suppression/Fire Alarm	Total value of work performed (structural permit fee)
Commercial Fire Sprinkler/Fire Suppression/Fire Alarm Review	65% of structural permit fee

Note: See appendix for methodology for calculation of valuation for all permit fees utilizing valuation/value of work

Inspection Fees for Commercial and Residential

Fee Description	2024/2025 Fee
Re-inspection Fee - Per Hour, 1/2 Hour Min.	\$90.00
Inspections Outside Normal Business Hours - Per Hour, Per Inspector, 1 Hour Min.	\$130.00
Temporary Certificate of Occupancy and Reapplication Fee(s)	\$50.00 per discipline/permit. Renewal required every 30 days
Site Observation-Inspection - Per Hour, 1 Hour Min. (e.g. pre permit consultation)	\$90.00
Change of Occupancy Fees	
Without additional work done - per hour, \$150 min	\$90.00
Special inspection report - per hour	\$65.00
Re-issued Certificate of Occupancy	No Charge

Demolition Fees

Fee Description	2024/2025 Fee
Demolition Review Fee (<i>non-exempt structures</i>)	\$360.00
Demolition Permit Fee - Per Building, 1 Hour Min. (Permit fee for verifying utilities have been safely removed and capped off)	\$90.00
Demolition Capping off Sewer, Water, Rain Drain - Per Hour, 1 Hour Min.	\$90.00

Residential Plumbing Permit Fees

Fee Description	2024/2025 Fee
New Residential	
1 bathroom/kitchen (includes: first 100 feet of water/sewer lines; hose-bibs ice maker; under floor low-point drains; and rain-drain packages)	\$400.00
2 bathrooms/1 kitchen	\$500.00
3 bathrooms/1 kitchen	\$575.00
Each additional bathroom (over 3)	\$50.00
Each additional kitchen (over 1)	\$50.00
Remodel / Alterations	
Remodel / Alterations (minimum fee)	\$75.00
Each fixture, appurtenance, and first 100 ft. of piping	\$20.00
Minimum fee (When purchased as bathroom unit(s) -includes the first 100 ft. of water service, sanitary & storm)	\$75.00
Piping or private storm drainage systems exceeding the first 100 ft.	\$22.00
Backflow assembly	\$25.00
Re-pipe water supply	\$90.00
Alternate water heating systems (coils, heat pumps, etc.)	\$60.00
Solar	\$60.00
Swimming pool piping	\$50.00
Residential Fire Sprinkler (includes plan review)	
0-2,000 square feet	\$200.00
2,001-3,600 square feet	\$250.00
3,601-7,200 square feet	\$350.00
7,201+ square feet	\$450.00
Manufactured Dwelling or Prefab	
Connections to building sewer and water supply - per space	\$50.00
RV and Manufactured Dwelling Parks	
Installation fee	\$150.00
State fee	\$30.00
Factory manufactured awning/carport	Fee based on valuation of installation cost and system equipment. Refer to structural permit fees.
Each additional 10 spaces	\$100.00

Commercial Plumbing Permit Fees

Fee Description	2024/2025 Fee
Commercial, Industrial, and Dwellings Other than One- or Two-family	
Minimum fee	\$75.00
Each fixture	\$40.00
Swimming pool piping	\$60.00
Piping - per foot	\$0.75
Plumbing plan review	30%
Sanitary Services	
First 100 feet	\$0.75
Each additional 100 Feet or fraction thereof	\$0.75
Storm Services	
First 100 feet	\$0.75
Each additional 100 Feet or fraction thereof	\$0.75
Water Services	
First 100 feet	\$0.75
Each additional 100 Feet or fraction thereof	\$0.75

Commercial Fire Sprinkler (includes plan review)

Fee based on valuation of installation cost and system equipment

\$1.00 to \$500.00	\$90.00 per hour
\$501.00 to \$2,000.00	\$90.00 for the first \$500.00 plus \$10.00 for each additional \$1000.00 or fraction thereof, to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$110.00 for the first \$2,000.00 plus \$8.00 for each additional \$1,000.00 or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$294.00 for the first \$25,000.00 plus \$8.00 for each additional \$1,000.00 or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$494.00 for the first \$50,000.00 plus \$5.00 for each additional \$1,000.00 or fraction thereof, to and including \$100,000.00
\$100,001.00 and up	\$744.00 for the first \$100,000.00 plus \$4.00 for each additional \$1,000.00 or fraction thereof
Fire sprinkler/fire suppression/fire alarm plan review	65% of structural permit fee
Minimum permit fee	\$90.00
Miscellaneous	
Minimum fee	\$90.00
Specialty fixtures	\$40.00
Re-inspection (no. of hrs. x fee per hour)	\$90/hr. (1/2 hr. minimum)
Special requested inspections (no. of hrs. x fee per hour)	\$90.00
Medical Gas Piping	
Minimum fee	\$50.00
Valuation \$500 to \$2,000	\$50.00 + \$5 per \$1000 of valuation
Valuation \$2,001 to \$25,000	\$125.00 + \$18 per \$1000 of valuation
Valuation \$25,001 to \$50,000	\$540.00 + \$14 per \$1000 of valuation
Valuation \$50,001 to \$100,000	\$890.00 + \$9 per \$1000 of valuation
Valuation greater than \$100,000	\$1,340.00 + \$8 per \$1000 of valuation

Fee Description	2024/2025 Fee
Rainwater Harvesting System	
<i>Fee based on valuation of work to be performed.</i>	
Minimum fee	\$75.00
Valuation \$1 to \$500	\$75 for the first \$500 plus \$9 for each additional \$100 or fraction thereof, to and including \$2,000
Valuation \$2,001 to \$25,000	\$210 for the first \$2,000 plus \$10 per \$1,000, or fraction thereof, to and including \$25,000
Valuation \$25,001 to \$50,000	\$440 for the first \$25,000 plus \$10 per \$1,000, or fraction thereof, to and including \$50,000
Valuation \$50,001 to \$100,000	\$690 for the first \$50,000 plus \$9 per \$1,000, or fraction thereof, to and including \$100,000
Valuation greater than \$101,000 and up	\$1,140 for the first \$100,000 plus \$9 per \$1,000 or fraction thereof

Commercial Mechanical Permit Fees

Fee Description	2024/2025 Fee
Commercial Mechanical Permit Fees	
Valuation \$1 to \$500	\$90.00/minimum
Valuation \$501- \$100,000	\$90.00 for the first \$2,000.00 plus \$10.00 for each additional \$1,000.00 or fraction thereof.
Valuation \$100,000+	\$1,070.00 plus \$10.00 for each additional \$1,000.00 or fraction thereof.
Deferred submittals + fees	\$100.00 each item plus 65% of mechanical permit fee of deferred submittal valuation.
Plan review fee	25% of permit fee
Miscellaneous Fees	
Re-inspection	\$90.00
Specially requested inspection (per hour)	\$65.00
Regulated equipment (un-classed)	\$50.00

Residential Mechanical Permit Fees

Fee Description	2024/2025 Fee
Mechanical Permit Minimum Fee	\$75.00
Furnace/Burner Including Ducts & Vents	
Up to 100k BTU/hr.	\$20.00
Over 100k BTU/hr.	\$20.00
Heaters/Stoves/Vents	
Unit heater	\$20.00
Wood/pellet/gas stove/flue	\$20.00
Repair/alter/add to heating appliance or refrigeration unit or cooling system/absorption system	\$20.00
Evaporated cooler	\$20.00
Vent fan with one duct/appliance vent	\$20.00
Hood with exhaust and duct	\$20.00
Floor furnace including vent	\$20.00
Gas Piping	
One to four outlets (any number of outlets)	\$20.00
Air-Handling Units, Including Ducts	
Up to 10,000 CFM	\$20.00
Over 10,000 CFM	\$20.00
Compressor/Absorption System/Heat Pump	
Up to 3 hp/100K BTU	\$20.00
Up to 15 hp/500K BTU	\$20.00
Up to 30 hp/1,000 BTU	\$20.00
Up to 50 hp/1,750 BTU	\$35.00
Over 50 hp/1,750 BTU	\$45.00
Incinerator	
Domestic incinerator	\$20.00

Electrical Permit Fees

Fee Description	2024/2025 Fee
Residential Per Unit, Service Included	
1,000 sq. ft. or less	\$135.00
Each additional 500 sq. ft. or portion thereof	\$25.00
Limited energy	\$32.00
Each manufactured home or modular dwelling service or feeder	\$50.00
Multi-family residential	\$65.00
Residential and Commercial—Services or Feeders/Installation, Alteration, Relocation	
200 amps or less	\$95.00
201 to 400 amps	\$115.00
401 to 600 amps	\$190.00
601 to 1,000 amps	\$250.00
Over 1,000 amps or volts	\$550.00
Reconnect only	\$75.00
Temporary Services or Feeders	
200 amps or less	\$75.00
201 to 400 amps	\$100.00
401 to 600 amps	\$150.00
601-1000 amps	\$250.00
Over 1,000 amps or volts	\$450.00
Branch Circuits: New, Alteration, Extension Per Panel	
Branch circuits with purchase of a service or feeder	\$6.00
Branch circuits without purchase of a service or feeder:	
First branch circuit	\$65.00
Each additional branch circuit	\$7.50
Miscellaneous Fees: Service or Feeder Not Included	
Each pump or irrigation circuit	\$65.00
Each sign or outline lighting	\$65.00
Signal circuit(s) or low voltage system, alteration or extension (each system)	\$65.00
Subdivision lighting per pole in addition to service	\$40.00
Swimming pool (panel, 3 circuits and bonding)	\$90.00
Specially requested inspection (per hour)	\$90.00
Each additional inspection over the allowable in any of the above, for those not covered under residential inspection caps (per inspection) - per hour, 1/2-hour min.	\$90.00
Special inspection - per hour, 1/2-hour min.	\$90.00
Reinspection - per hour, 1/2-hour min.	\$90.00
Field review-change of use - per hour, 1/2-hour min.	\$90.00

Residential Restricted Energy Electrical Permit Fees

Fee Description	2024/2025 Fee
Fee for All Systems ¹ , Including:	\$25.00
Audio and stereo systems	
Burglar alarm system	
Doorbell	
Garage-door opener	
Heating, ventilation, & air-conditioning systems	
Landscape lighting & sprinkler controls	
Landscape irrigation controls	
Outdoor landscape lighting	
Vacuum Systems	
Each Additional Inspection	\$25.00

¹For new construction, this permit fee covers all systems listed or can be sold separately.

Renewable Energy Systems

Fee Description	2024/2025 Fee
Renewable Energy Systems	
5 KVA or less	\$100.00
5.01 KVA to 15 KVA	\$100.00
15.01 KVA to 25 KVA	\$156.00
25.01 KVA and above	\$156.00 plus \$6.25/KVA for each additional
Engineered Systems <i>(Separate Electrical application required)</i>	
Plan Review	65% of Building Permit
Re-Inspection Fee - per hour, 1/2 hour minimum	\$90.00
Wind generation systems in excess of 25 KVA:	
25.01 KVA to 50 KVA	\$204.00
50.10 KVA to 100 KVA	\$469.00

For wind generations systems that exceed 100 KVA the permit fee shall be calculated in accordance with OAR 918-309-0040

Solar generation systems in excess of 25 KVA, per KVA	\$6.25
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The permit charge will not increase beyond the calculation for 100 KVA. Permits issued under this sub-section include three inspections. Additional inspections will be billed at an hourly rate.

Building Permit Reinstatement Fee

Fee Description

A building permit expires after a period of 180 days from the date of issue with no inspection activity.

To reactivate an expired permit, a fee of \$50.00 per construction discipline is required (Structural, Plumbing, Mechanical, Electrical).

*If the sum of the original permit fee subject to reinstatement is less than \$50.00, a reinstatement fee equal to half of the value of the original permit fee shall be assessed for permit reinstatement.

Grading/Excavation Fees

Fee Description	2024/2025 Fee
Grading Fees	
Plan Review Fee - per hour	\$90.00
50 cubic yards or less	No Fee
51-100 cubic yards	\$125.00
101-1,000 cubic yards	\$200.00
1,001-10,000 cubic yards	\$400.00
10,001-100,000 cubic yards	\$500.00 for the first 10,001 cubic yards plus \$50.00 for each additional 10,000 cubic yards or fraction thereof
Additional plan review required for changes, additions, or revisions to approved plans - per hour, ½-hour min.	\$90.00
Permit Fees	
50 cubic yards or less	No fee
51-100 cubic yards	\$100.00
101-1,000 cubic yards	\$100 for first 101 yards plus \$35 for each additional 100 cubic yards or fraction thereof

Other Building Fees

Fee Description	2024/2025 Fee
Investigation Fees	
Investigation Fee A - Low effort to determine compliance. Per hour.	\$90.00
Investigation Fee B - Medium effort to gain compliance. Stop work order posted. Applicant obtains required permits within 10 business days. Per hour, \$150 minimum.	\$90.00
Investigation Fee C - High effort to gain compliance. Applicant failed to meet deadline or has had more than one documented violation in 12 months for starting work without permits. Per hour, \$250 minimum.	\$90.00

State of Oregon Surcharge - ORS 455.210(4)

State of Oregon permit surcharge is 12% of structural, plumbing, mechanical and electrical components of the overall building permit.

Building Permit Refund Policy

The City of Ashland Community Development Department offers partial refunds for building permits that have been issued, have had no inspections performed and have not yet expired (six months from issue date). Refunds for permits that have expired are limited to any Systems Development Charges (SDC's) that were part of the permit fees.

How to Request a Refund

Submit the following documents to the Community Development Department at 51 Winburn Way:

- Approved set of plans (stamped)
- Job Inspection card
- Letter of refund request signed by applicant/owner with mailing address for refund check

The refund will be processed within 30 days of the date of the request letter.

The following fees are not refundable:

- Building Plan Check Fee
- Fire Protection Review Fee
- 50% of Community Development Fee (maximum equal to Building Plan Check Fee)
- 50% of Engineering Development Fee (maximum equal to Building Plan Check Fee)

The remainder of the permit fees are refundable. A \$50.00 administrative fee will be subtracted from the eligible refund amount for costs associated with the refund process.

ATC-20 Rapid Evaluation Safety Assessment Form

Inspection

Inspector ID: _____ Inspection date and time: _____ AM PM
 Affiliation: _____ Areas inspected: Exterior only Exterior and interior

Building Description

Building name: _____
 Address: _____

 Building contact/phone: _____
 Number of stories above ground: _____ below ground: _____
 Approx. "Footprint area" (square feet): _____
 Number of residential units: _____
 Number of residential units not habitable: _____

Type of Construction

Wood frame Concrete shear wall
 Steel frame Unreinforced masonry
 Tilt-up concrete Reinforced masonry
 Concrete frame Other: _____

Primary Occupancy

Dwelling Commercial Government
 Other residential Offices Historic
 Public assembly Industrial School
 Emergency services Other: _____

Evaluation

Investigate the building for the conditions below and check the appropriate column.

Observed Conditions:	Minor/None	Moderate	Severe	Estimated Building Damage (excluding contents)	
				<input type="checkbox"/> None	<input type="checkbox"/> 0-1%
Collapse, partial collapse, or building off foundation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> 1-10%	<input type="checkbox"/> 10-30%
Building or story leaning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> 30-60%	<input type="checkbox"/> 60-100%
Racking damage to walls, other structural damage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> 100%	
Chimney, parapet, or other falling hazard	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Ground slope movement or cracking	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Other (specify) _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

Comments: _____

Posting

Choose a posting based on the evaluation and team judgment. *Severe* conditions endangering the overall building are grounds for an Unsafe posting. Localized *Severe* and overall *Moderate* conditions may allow a Restricted Use posting. Post INSPECTED placard at main entrance. Post RESTRICTED USE and UNSAFE placards at all entrances.

INSPECTED (Green placard) **RESTRICTED USE** (Yellow placard) **UNSAFE** (Red placard)

Record any use and entry restrictions exactly as written on placard: _____

Further Actions

Check the boxes below only if further actions are needed.

Barricades needed in the following areas: _____

 Detailed Evaluation recommended: Structural Geotechnical Other: _____
 Other recommendations: _____

Comments: _____

ATC-20 Detailed Evaluation Safety Assessment Form

Inspection

Inspector ID: _____

Affiliation: _____

Inspection date and time: _____ AM PM

Final Posting from page 2

- Inspected
 Restricted Use
 Unsafe

Building Description

Building name: _____

Address: _____

Building contact/phone: _____

Number of stories above ground: _____ below ground: _____

Approx. "Footprint area" (square feet): _____

Number of residential units: _____

Number of residential units not habitable: _____

Type of Construction

- Wood frame
 Steel frame
 Tilt-up concrete
 Concrete frame
 Concrete shear wall
 Unreinforced masonry
 Reinforced masonry
 Other: _____

Primary Occupancy

- Dwelling
 Other residential
 Public assembly
 Emergency services
 Commercial
 Offices
 Industrial
 Other: _____
 Government
 Historic
 School

Evaluation

Investigate the building for the conditions below and check the appropriate column. There is room on the second page for a sketch.

	Minor/None	Moderate	Severe	Comments
Overall hazards:				
Collapse or partial collapse	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Building or story leaning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Structural hazards:				
Foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Roofs, floors (vertical loads)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Columns, pilasters, corbels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Diaphragms, horizontal bracing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Walls, vertical bracing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Precast connections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Nonstructural hazards:				
Parapets, ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Cladding, glazing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Ceilings, light fixtures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Interior walls, partitions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Elevators	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Stairs, exits	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Electric, gas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Geotechnical hazards:				
Slope failure, debris	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Ground movement, fissures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

General Comments: _____

ATC-20 Fixed Equipment Checklist

Building Description

Building name: _____

Address: _____

Inspection

Inspector ID: _____

Affiliation: _____

Inspection date: _____

Inspection time: _____ AM PM

Checklist

Equipment Damaged

Overall hazards:

Minor/None Moderate Severe Comments

Main boilers _____

Chillers _____

Emergency generators _____

Fuel tanks _____

Battery racks _____

Fire pumps _____

On-site water storage _____

Communications equipment _____

Main transformers _____

Main electrical panels _____

Elevators (traction) _____

Other fixed equipment _____

_____ _____

_____ _____

_____ _____

_____ _____

_____ _____

_____ _____

Special concerns for hospitals and other health care facilities

Radiation equipment _____

Toxic chemical storage _____

_____ _____

_____ _____

_____ _____

_____ _____

Liquid oxygen tanks _____

Other: _____ _____

_____ _____

Recommendations/Comments:

Guidance for Owners and Occupants of Damaged Buildings¹

This appendix is intended to provide basic information to owners or tenants of buildings that suffer earthquake damage. Guidance is provided to answer many of the typical questions that arise during the postearthquake recovery period. The issues covered include (1) the safety evaluation process and the meaning of each of the three safety evaluation postings; (2) the process of securing services to perform repairs; and (3) how to obtain aid from disaster assistance organizations.

Building jurisdictions or other agencies may adapt this chapter for use as a handout or other document if the ATC source document is credited.

A.1 Understanding Safety Assessment Procedures and Postings

If a building you own or in which you reside or work is damaged by an earthquake it should be inspected by safety evaluation personnel working for the local government building jurisdiction. You can contact the jurisdiction to request this safety evaluation. The evaluation may not be possible until a few days after the earthquake, depending on the extent of local damage and the number of available qualified inspectors and engineers assigned to your area. If substantial damage is apparent, do not wait for an official evaluation of the building: the prudent choice is to discontinue use and occupancy of the building to prevent potential injuries that may occur due to collapse or other falling hazard conditions that could occur unexpectedly or as a result of earthquake aftershocks. You may want to engage a design or construction professional at this time to inspect the damage, recommend repair work, obtain emergency permits, or begin repair work, as required. This process is discussed below in Section A.2.

When an authorized safety evaluation team from the jurisdiction does arrive it is very important to cooperate with them by providing both information about observed damage and access to the building. The first safety evaluation team to arrive will likely be conducting what is called a Rapid Evaluation. They will spend 15 to 60 minutes inspecting the property, depending on its size, complexity, and extent of damage. Their responsibility is to quickly determine if a building is safe enough to occupy,

and if not, to decide what restrictions to place on its use or entry. The inspection will result in one of three posting placards (discussed below) being placed near the entrances to the building indicating the outcome of the team's safety evaluation. The team will also record the inspection findings and posting placard determination on an evaluation form for the jurisdiction.

Unsafe Posting (Red Placard)

If damage visible from the exterior obviously poses a severe hazard for entry or occupancy, the safety evaluation team may be limited to inspecting only the exterior of the building. In such cases the posting most likely to be used is a red UNSAFE placard. This placard indicates it is unsafe to occupy or enter the building for any reason. Even when a building can be entered for inspection it is still possible that internal damage could pose dangers requiring an Unsafe posting. It is also possible that an otherwise safe building must be posted Unsafe because it is threatened by falling hazards from a nearby building. The legal questions that may arise from such a circumstance are important, but unfortunately they are beyond the scope of this document.

The UNSAFE placard is posted only when there is an immediate risk associated with entry, use, or occupancy. While its meaning may vary somewhat among building jurisdictions, it usually means that the building owner must apply for a permit to enter the building by means acceptable to the jurisdiction.

¹ Reprint of Appendix A of ATC-20-2 *Addendum to the ATC-20 Postearthquake Building Safety Evaluation Procedures*, which is available from the Applied Technology Council, 201 Redwood Shores Parkway, Suite 240, Redwood City, CA 94065 (Website: www.ATCCouncil.org)

These means may include engaging an engineer and contractor (See Section A.2 below) to assess the risks and, as necessary, remove falling hazards, shore unstable elements, provide protective scaffolding, or otherwise mitigate hazards.

It is very important to understand that the “red tag” Unsafe posting does not automatically mean that the property has been condemned or will require demolition. Indeed, rarely is damage so severe or the threat to either an adjacent property or important right-of-way so high that an order to demolish a building is issued. Local officials normally will contact and involve the building owner and the owner’s engineer or contractor in the process of making any demolition decisions and allowing for belongings removal. Some building owners may voluntarily choose to demolish their building if repairing it is clearly uneconomical, but again, this is not the usual consequence for buildings posted Unsafe.

There are several options for building owners for the removal of goods from buildings posted Unsafe, depending on the specific condition of a building and the policies of the jurisdiction.

1. The owner, with or without the assistance of a construction professional, proposes to the jurisdiction a method of how and where the building may be entered without hazard in order to remove belongings. If this method is acceptable to the jurisdiction, it allows the owner or tenants to enter the building in accordance with the method. The jurisdiction may require that a permit be obtained. It may also require that any entry be under the supervision of the jurisdiction or the construction professional, and that hard hats be worn by those entering the building.
2. At the discretion of the jurisdiction, the owner takes out an emergency permit to perform sufficient work on the building to make it safe to enter to remove belongings. The owner will need to present a hazard mitigation and entry plan that is satisfactory to the jurisdiction. The jurisdiction may require that licensed engineers or contractors prepare this plan and supervise its execution. This plan might include shoring of parts of the building, removal of falling hazards, construction of overhead barriers, or other means that permit safe entry to all or part of the building. This plan may or may not be a part of an overall plan to repair the building.
3. The jurisdiction may believe that the building is so precarious that no hazard mitigation measures are possible that would permit even limited entry to remove belongings. This can occur when the building condition creates an undue risk even to workers attempting to mitigate the hazards. The jurisdiction should invite the owner and the owner’s professional construction consultants to propose a mitigation and entry plan. If no hazard and mitigation plan can be proposed that is satisfactory to the jurisdiction, the building would have to be demolished with the belongings still inside. The urgency of this determination will depend on whether the building threatens an adjacent property or important right-of-way.

Jurisdictions have often taken an active role in expediting the above options when the building owner has been unwilling or unable to perform. In the case of tenant demands for access and owner inaction, the jurisdiction may mitigate hazards as necessary to allow for limited belongings access. The jurisdiction may proceed with demolition if the need is pressing and the owner is uncooperative.

Restricted Use Posting (Yellow Placard)

An intermediate posting called Restricted Use is used by the evaluation team to address situations where a clearly unsafe condition does not exist but the observed damage precludes unrestricted occupancy. Unlike the Unsafe posting, the Restricted Use posting does not usually require that the owner obtain a permit to allow entry. For example, if the evaluation reveals damage of a nature that requires that there be no entry to a portion of the building or some restriction on the use or occupancy of the whole building, the yellow RESTRICTED USE placard will normally be used.

Examples of nonstructural damage that could lead to a Restricted Use posting include the loss of use of basic sanitary facilities due to broken water or sewer pipes or damage to a fire sprinkler system required for safe full occupancy. Localized structural damage may place a portion of a building in an unsafe condition while other areas remain usable. Overall damage may be such that entry is appropriate for occupants to remove belongings and for contractors to make repairs, but is not appropriate for normal

occupancy. A description of the limits or conditions of continued use will be written on the RESTRICTED USE placard. If you are present when a Restricted Use posting is made, you should ask the inspectors for a clear explanation of the limits placed on entry or occupancy and this verbal explanation should be consistent with the limits as written on the placard. If you return to your property and find a RESTRICTED USE placard that does not adequately explain the limits of entry or use, you should contact the jurisdiction for more specific information before entering the building.

When there is damage that is not a safety hazard but is detrimental to the quality of health or living conditions for long-term occupancy, the jurisdiction may have instructed the inspectors to place a Restricted Use placard. No occupancy or use restrictions would be stated, but the placard would note that the owner must correct the listed deficiencies under a permit.

In addition to posting the entire building, posting may be necessary at specific locations outside a building. In situations in which a potential falling hazard exists, the immediate area below that part of the building may be marked or otherwise barricaded with yellow tape having a message that reads *Do Not Cross Line, Restricted Area—Keep Out*, or similar cautionary wording. Damaged masonry chimneys, parapets, or veneers above outside spaces are examples of falling hazards requiring such barricading.

Inspected Posting (Green Placard)

Where damage does not pose any significant safety hazard, the proper posting should be a green INSPECTED placard. This posting is intended only to inform occupants that the building may be safely occupied; it does not imply that existing damage should be ignored or that repairs are not necessary.

If the inspection team was not able to enter the building but found no hazards at the exterior, the INSPECTED placard will be marked “Exterior Only.” If the inspection team was also able to enter the building and found no hazards, the INSPECTED placard will be marked “Exterior and Interior.” If you return to your building and find an INSPECTED placard marked “Exterior Only,” you should request a reinspection if you believe there are hazards inside the building.

Posting Changes

It is possible that subsequent aftershocks could create new damage or increase the initial damage, causing the need for an Inspected or Restricted Use posting to be changed to a more restricted level of use. If you have evidence that an aftershock has substantially increased damage to your building, you should contact the building inspection office to schedule a reinspection. It is likely that the building inspection office will consider the reinspection of posted buildings after a major aftershock, even if reinspections are not requested by the owner.

The Rapid Evaluation team may decide that a more extensive inspection is needed. They will post the building to their best judgment, but they will also request what is called a Detailed Evaluation. The jurisdiction may also require that all Unsafe and Restricted Use postings by Rapid Evaluation teams receive a Detailed Evaluation as a second opinion to ensure that the restrictions on your property use are appropriate. The Detailed Evaluation team will have more time and will have specialist members to conduct a more thorough investigation that may result in a posting different from that given by the Rapid Evaluation team. In the meantime, however, the posting by the Rapid Evaluation team must be observed.

A.2 Steps to Take to Ensure Damage Is Properly Repaired

If your building is damaged in an earthquake and appears repairable, you will need to assess the damage, determine what efforts are necessary for reoccupancy, and begin these efforts. You will probably need the services of design and construction professionals and permits from the local building jurisdiction. Your choice of which construction professional to initially contact will depend on your preliminary assessment of the repair and hazard mitigation needs, your knowledge and acquaintance with the local professionals, and their availability.

You may begin the engagement of design and construction professionals at any time, that is, you need not wait until the Rapid and, if done, Detailed Evaluations are completed. The jurisdiction will usually allow the entry and occupancy of a building to be determined by a design professional engaged by the owner, if their written and signed occupancy recommendations appear reasonable and are posted on the building.

Most architects, contractors, and engineers belong to either a regional or state association that can provide names, phone numbers, and perhaps some information on the type of work in which their members specialize. The building inspection office may also provide similar lists but it is very unlikely that they will offer to recommend any specific firm. Recommendations are perhaps best sought from other individuals, business associates, family, friends, or neighbors who have recently used the services of the type of professional you are seeking. In certain cases an engineering geologist may also be needed when a building site is steeply inclined or has certain soil conditions that must be considered in the repair design.

After reviewing the recommendations for and availabilities of architects, contractors, or engineers, you can then begin the process of engaging them. When widespread damage occurs, the resulting demand for construction repairs may cause even legitimate local construction professionals to charge higher prices than would normally be expected. Obtaining several bids for the needed repair work can help secure a more reasonable price. Prior to signing any contract to perform repairs or other services, be sure that it contains a complete description of the scope of work and requires that a building permit be obtained. Contractors often require that a percentage of the full contract price be paid before beginning work, but it is generally neither necessary nor prudent to pay the entire amount in advance. For example, state law in California limits the advance payment that must be given to a contractor prior to beginning work to ten percent of the total contract price.

Permits will be needed from the jurisdiction to begin work, and obtaining them might be done by you or by the construction professionals you have engaged. The local building jurisdiction office will be a very busy and perhaps even a confusing place to obtain permits and information needed to initiate repairs after a major earthquake. The specific rules applying to the reconstruction or repair of your building will undoubtedly be somewhat different than those used in nondisaster situations. Since some of the requirements may be waived (e.g., fees) and others may be specially imposed (e.g., soil or engineering reports) under these circumstances, you should definitely inquire about what rules apply to your specific location and extent of damage. There may be situations that require an older structure to be repaired using current standards for earthquake resistance rather than those used in the original construction. Use of these current methods can substantially reduce the damage caused by future earthquakes, but this will also usually raise the cost of the repair work.

In the aftermath of most disasters where large numbers of buildings are damaged or destroyed, there are likely to be opportunists posing as legitimate contractors willing to assist you in making needed repairs. The best way to avoid these unscrupulous or illegal operators is to ask for proof of both a current state contractor's license and a certificate of worker's compensation insurance. Although this evidence cannot necessarily ensure top quality workmanship, it certainly will avoid other problems that can result from using the services of either uninsured or unlicensed individuals.

If you are attempting to make repairs on your own without the help of contractors, be aware that you will still need a building permit or similar authorization and that you must request the required inspections for that work. Certain minor cosmetic work (e.g., replacing or patching cracked interior wall finish materials) may be exempted, but other repairs (e.g., fixing chimneys, or repairing any damaged structural members) will likely need a permit. While this may seem bothersome, it will help prevent challenges to the adequacy of the work performed when a property is sold or if insurance claims are made.

A.3 Guidelines for Securing Disaster Assistance

The details, limitations, and eligibility requirements for various types of federal, state, or local aid cannot be specifically listed here, because they are subject to change and are often unique to the situation and the disaster. The best source for current information on these subjects will be the locally established disaster application center.

If earthquake-specific coverage is included in an insurance policy covering your property, your first step should be to contact the claims office of the insurance company. You may also be eligible to make a claim for federal or state assistance to cover uninsured losses or deductibles that may apply to your coverage. Whether or not insurance coverage applies to your losses, you should document all the visible damage with photographs and a narrative of what each shows. Also keep a record of the nature, extent, and cost of any emergency repairs made by yourself or others immediately after the earthquake and any other expenses related to the earthquake damage or the loss of use of the building. The importance of such documentation cannot be over-stressed, because the full amount of any insurance settlement or financial assistance that may be available in the form of low interest loans and, occasionally, grants, will require significant proof regarding damages, repairs, and expenses.

Damage to your home may be severe enough to require your family to relocate to temporary or even long-term alternative housing. Following a disaster, the local chapter of the American Red Cross is responsible for providing emergency shelters at locations such as schools. Information on the exact locations can be obtained from the Red Cross or local government authorities. Other local nonprofit and community service organizations may also be providing aid including food and clothing, and state and county health departments may offer personal counseling.

If a presidential declaration of a disaster is made, the Federal Emergency Management Agency (FEMA), or other cognizant federal agency, in conjunction with local government, will establish a local Disaster Application Center (DAC). These centers will normally begin functioning several days to a week after a disaster, and their locations will be announced by newspapers and other media. Representatives from local, state and federal agencies with disaster relief responsibility will be assigned to these centers.

FEMA, or other cognizant federal agency, will address the needs of owners or tenants facing long-term displacement from their principal housing. This assistance can take several forms but often is provided by vouchers that cover a portion of the costs to obtain alternative existing housing. Business owners will be able to apply for loans from the federal Small Business Administration (SBA) at the Disaster Application Center. There is also a program for homeowners. These loans are normally made at below-market interest rates and can be applied to repairing or replacing a building; however, loan eligibility is based on the ability of the borrower to repay. To verify reported damages and assess the amount of financial assistance you may be eligible to receive, representatives from the jurisdiction processing your assistance claim will normally inspect your building.

PROTECTION AND SAFETY ITEMS

Cell Phone w/ Charger
NIOSH masks or respirator
Earplugs
Gloves
Flashlight w/ extra batteries
Hand Sanitizer or hand wipes
Hard hat
Insect repellent
Magnetic compass
Safety glasses
Safety shoes
Safety whistle
Small first aid kit
Water container or canteen
Water purification tablets

FIELD WORK ITEMS

Lockable backpack or box
Clipboard
Field Manuals (ATC 20.1; ATC-45)
Paper or notebook
Professional C.O.A. ID card
Waterproof marking pens
Waterproof writing pens or pencils
Maps
Phone number list
Staple gun/ staples
Tape
GPS unit (?)
Placards: Red (70%) Yellow (15%) Green (15%)

INSPECTED

LAWFUL OCCUPANCY PERMITTED

This structure has been inspected (as indicated below) and no apparent structural hazard has been found.

Date _____

Time _____

Inspected Exterior Only

Inspected Exterior and Interior

Report any unsafe condition to local authorities; reinspection may be required.

Inspector Comments:

Facility Name and Address:

(Caution: Aftershocks since inspection may increase damage and risk.)

This facility was inspected under emergency conditions for:

(Jurisdiction)

Inspector ID / Agency

**Do Not Remove, Alter, or Cover this Placard
until Authorized by Governing Authority**

RESTRICTED USE

Caution: This structure has been inspected and found to be damaged as described below:

Entry, occupancy, and lawful use are restricted as indicated below:

Facility Name and Address:

Date _____

Time _____

(Caution: Aftershocks since inspection may increase damage and risk.)

This facility was inspected under emergency conditions for:

(Jurisdiction)

Inspector ID / Agency

**Do Not Remove, Alter, or Cover this Placard
until Authorized by Governing Authority**

UNSAFE

**DO NOT ENTER OR OCCUPY
(THIS PLACARD IS NOT A DEMOLITION ORDER)**

This structure has been inspected, found to be seriously damaged and is unsafe to occupy, as described below:

Do not enter, except as specifically authorized in writing by jurisdiction. Entry may result in death or injury.

Facility Name and Address:

Date _____

Time _____

This facility was inspected under emergency conditions for:

(Jurisdiction)

Inspector ID / Agency

**Do Not Remove, Alter, or Cover this Placard
until Authorized by Governing Authority**