



City of Ashland Planning Division
51 Winburn Way • Ashland, OR 97520
Phone (541) 488-5305 • Fax (541) 488-6066
Email: Planning@ashlandoregon.gov

Pre-Application Conference **Information Sheet & Submittal Requirements**

PURPOSE

Pre-application conferences are required for all projects that require a Type I, Type II or Type III planning actions as defined in Chapter 18.5.1 of the Ashland Municipal Code. Definitions for Type, I, II and III planning actions can be found at <https://ashland.municipal.codes/LandUse>. If you are unsure if your project falls into any of the categories listed, please contact the Planning Division of the Community Development Department for assistance at (541) 488-5305.

The purpose of the pre-application conference is to allow the applicant and the City Staff to meet and discuss the proposed project early in the development process. This early review and meeting helps to identify opportunities and key issues prior to preparation and submission of the Planning application. Before a proposal goes before the Planning Commission for approval, most of the issues can be worked out so that the project is ready for review with few additional changes or conditions needed.

PROCESS

Requests for a pre-application conference must be submitted to the Planning Division a minimum of two weeks in advance of the scheduled meeting. Pre-application conferences are scheduled for Wednesdays between 2:00 and 4:00 PM. These conferences are scheduled on a first come – first served basis. **A time cannot be reserved without payment and a complete submittal as described on the attachment.**

The narrative and the plans are then electronically sent to each concerned department to review and return comments to the Project Planner. Where applicable, other agencies such as the Oregon Department of Transportation and Jackson County will be invited to comment.

At the conclusion of the pre-application conference, you will receive a list of comments on what you will need to submit for your planning action. In some cases, the Project Planner may recommend waiving the pre-application meeting if the pre-application comments are self-evident and there are no critical issues.

Once the pre-application comments are issued, you have six months to submit for your planning action. If more than six months elapse from the time of the conference to your planning application, a second conference may be required due to potential code changes.



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DESCRIPTION OF PROJECT

Project Description Interior remodeling of the existing residence, including a rear addition.

APPLICANT

Name Christopher Brown Phone 541 - 591 -9988 E-Mail arkitek@arkitek.us

Address 426 A St. #101 City Ashland Zip 97520

PROPERTY OWNER

Name Tanya & Gary Enders Day Time Phone 541- 292-0019

Address 102 Granite St City Ashland Zip 97520

DESCRIPTION OF PROPERTY

Street Address 102 Granite Assessor's Map No. 39 1E 9BC Tax Lot(s) 3301

SUBMITTAL REQUIREMENTS

To request a pre-application conference, **submit this form with true scale PDF drawings to Planning@ashlandoregon.gov.** The application will need to include plans addressing the application submission requirements including site and landscaping plans drawn to a standard scale and formatted to print to scale on paper no larger than 11-inches by 17-inches.

1. **Completed Application.**
2. **Narrative** – Provide a written description of proposal and request. (If in Historic District, provide pictures of existing structures, elevations of proposed structures and details of planned exterior design features and materials)
3. **Site Plan** – The site plan should contain all applicable elements in the Site Plan Checklist (see page 2) plus any other information pertinent to this proposal. The site plan will be checked to insure all applicable information is included at the time the pre-application date is set.
4. **Additional information** - Provide in the narrative or with the site plan:
 - 1) Number of acres in development
 - 2) Total gross square footage of all structures
 - 3) Number of stories on each structure
 - 4) Indicate number of and square footage of:
 - a) Dwelling Units (include the units by the number of bedrooms in each unit – e.g. 10 1-bedroom, 25 2-bedroom, etc)
 - b) Office Spaces
 - c) Retail Units
 - d) Other Spaces



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5) Percentage of lot coverage by:

- | | |
|----------------------------|--|
| a) Structures | e) Landscaping |
| b) Streets & Roads | f) Number of parking spaces |
| c) Parking Areas/Driveways | g) Total square footage of landscaped areas. |
| d) Recreation Areas | h) Other pertinent information of the proposed development |

5. **LEED® Certification** – Indicate whether project will be pursuing LEED® certification.

6. **Submittal Fee - \$205.20**

PRE-APPLICATION SITE PLAN CHECKLIST

	YES	NO	N/A
1. Project Name			
2. Owner Name			
3. Site Address and Map & Taxlot Number			
4. Vicinity Map - with street names and locations of all existing and proposed streets within or on the boundary of the proposed development			
5. Scale & North Arrow			
6. Lot Layout with approximate dimensions for all lot lines			
7. Zoning Designations in proposed development and surrounding properties			
8. Location & Use of all proposed and existing building, fences and structures			
9. Indicate which buildings are to remain and which are to be removed			
10. Location of all landscaped areas. Indicate existing trees, size, species, and approximate drip line (outer branch location). Identify trees to be removed.			
11. Location and size of all public utilities in and adjacent to the proposed development including water line and meter size, sewer lines, storm drain lines, nearest fire hydrant.			
12. Locations of drainage ways or public utility easements in and adjacent to proposed development.			
13. Location, size and use of all contemplated and existing public areas			
14. Approximate topography (slope) of the site			
15. Location of all parking areas and individual and handicap parking spaces, ingress and egress on the site and on-site circulation			
16. Use designation for the areas not covered by buildings (e.g. loading, storage, vacant, open space, etc.)			
17. Elevations of the building(s)			
18. Construction materials – wood frame, masonry, etc. (If project is in a Historic District provide pictures of existing structures and indicate proposed exterior materials for siding, windows, trim and roofing)			



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PRE-APPLICATION BUILDING INFORMATION

Please attempt to indicate the following (Note: if information is not known please leave blank)

1. Current Building Occupancy Type (select one):

Assembly = More than 50 occupants

Theaters, Restaurants, Nightclubs, Taverns and Bars, Community Halls, Art Galleries, Places of Worship, Arenas, Bleacher's, etc.

Business = Less than 50 occupants

Professional Service Office, Barber and Beauty Salons, Training and Skill Development not within a school or academic program, Bank, Print Shop, etc.

Educational

Schools K-12th Grade, Religious Educational Rooms and Auditoriums, Day Care Facilities

Factory

(F- Occupancy's include, among others, the use of a building or structure or portion thereof, for assembling, disassembling, fabricating, finishing, manufacturing, packaging, repair or processing operations that are not classified as Group H-Hazardous or Group S-Storage Occupancy's

High Hazard

H-Occupancy's includes, among others, the use of a structure, or a portion thereof, that involves the manufacturing, processing, generation or storage of materials that constitute a physical or health hazard in quantities allowed in control areas complying with section 414 of the Oregon Structural Specialty Code.

Institutional

I-Occupancy's includes, among others, the use of a building or structure or a portion thereof for more than 16 persons, excluding staff, who reside on a 24 hr. basis in a supervised environment and receive custodial care. Detoxification Facilities, Hospitals, Medical Care, Nursing Homes, Congregate Living Facilities, Social Rehabilitation Facilities, Assisted Living Facilities, Alcohol and Drug Centers, Correction Centers, Jails, Reformatories, Adult and Child Day Care Facilities.

Mercantile

Department Stores, Drug Stores, Markets, Motor Fuel-Dispensing Facilities, Retail or Wholesale Stores, Sales Rooms.

→ Residential

Single Family Residence, Hotels, Motels, Apartment Houses, Vacation Time Shares, Congregate Living Facilities (more than 16 occupants), Assisted Living Facilities (with or without a Memory Care Endorsement), Residential Treatment Facilities, etc.

2. Is a Change of Occupancy being requested? If yes, please indicate the proposed Occupancy Type:

Assembly

High Hazard

Business

Institutional

Educational

Mercantile

Factory

Residential

3. If Residential please indicate which type (select one):

R-1 Occupancy

Hotels (transient), Motels (transient), Boarding Houses (transient) with more than 10 occupants.

R-2 Occupancy

Apartment Houses, Congregate Living Facilities (non-transient) with more than 16 occupants, Dormitories, Hotels (non-transient), Motels (non-transient), Vacation Time Share Properties, Boarding Houses (non-transient) with more than 16 occupants, etc.



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→ R-3 Occupancy

Detached One and Two Family Dwellings and Townhouses, Adult Care Facilities (six or fewer persons of any age less than 24 hrs.), Adult Foster Homes as defined in ORS Chapter 443, or Family Child Care Homes located in a private residence as defined in the Oregon Structural Specialty Code section 310.2. Buildings that do not contain more than two dwelling units, Boarding Houses (non-transient), Child Care Facilities that provide accommodations for six or fewer persons of any age for less than 24 hrs., Congregate Living Facilities (non-transient) with 16 or fewer occupants, Lodging Houses, etc.)

R-4 Occupancy

This occupancy shall include buildings, structures or portions thereof for more than five but not more than 16 persons, excluding staff, who reside on a 24-hr. basis in a supervised residential environment and receive custodial care, Congregate Living Facilities, Halfway Houses, Social Rehabilitation Facilities, Alcohol and Drug Centers Assisted Living Facilities (with or without a Memory Care Endorsement), Residential Care Facilities (with or without a Memory Care Endorsement), Residential Treatment Facilities, Group Homes and Facilities, etc.)

4. Type of Building Construction:

Types I and II construction are those types of construction in which the building elements listed in Table 601 of the Oregon Structural Specialty Code are of noncombustible materials. Type III construction is that type of construction in which the exterior walls are of noncombustible materials and the interior building elements are of any material permitted by the Oregon Structural Specialty Code. Type IV Construction (Heavy Timber) is that type of Construction in which the exterior walls are of noncombustible materials and the interior building elements are of solid or laminated wood without concealed spaces. Type V Construction is that type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by the Oregon Structural Specialty Code.

Type I		Type IV
Type II	→	Type V
Type III		

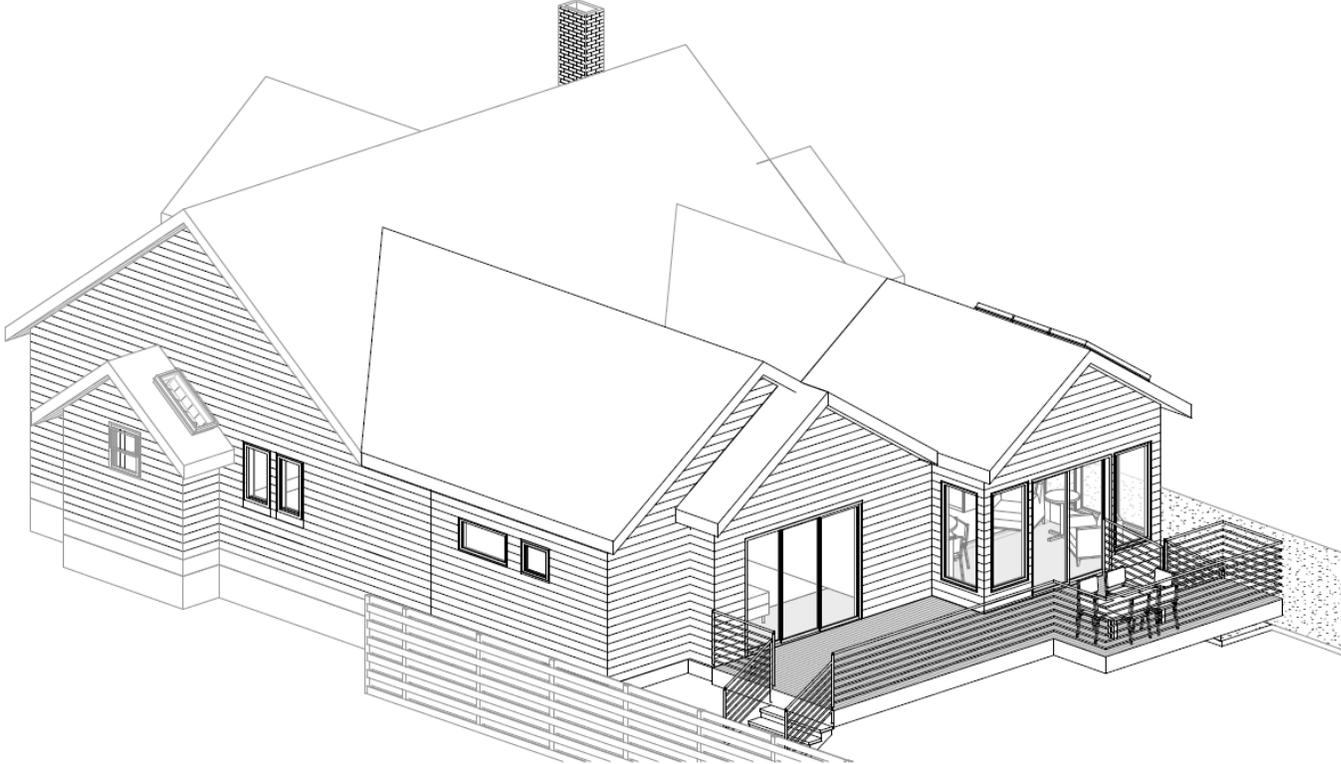
5. Is the building equipped or proposed to be equipped with a Fire Protection System? (e.g., Fire Sprinklers or Fire Alarms)

Yes	→	No
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Any questions regarding the pre-application conference or the formal land use application submittal can be directed to the Ashland Planning Division at (541) 488-5305. The City of Ashland Land Use Code can be found online at <https://ashland.municipal.codes/LandUse> and selecting the desired section.

Tanya and Gary Enders Residence

102 Granite, Ashland, OR 97520



Pre-application narrative

November 26, 2025



102 Granite Residence

Pre-Application Narrative

11.26.2025

I. Project Information

Date:	11/26/2025
Subject Site:	102 Granite St. Ashland, OR 97520
Map & Tax Lot #:	391E09BC - 3301
Zoning:	R-1-7.5 (Residential - Single Family)
Property Class:	101 - Improved
Determination:	Zoned Residential
Year built:	1870
Property Owner:	Tanya & Gary Enders
Total Acreage:	0.19 Ac (8276 SF)

II. Attachments

<u>Document No.</u>	<u>Document Name:</u>
Exhibit A	Topographic Survey
Exhibit B	SD-02 Demolition Site Plan
Exhibit C	SD-03 Schematic Architectural Site Plan
Exhibit D	SD-04 Schematic Floor Plan
Exhibit E	SD-05 Schematic Building Elevations

III. Project Scope

The anticipated development located at 102 Granite St., proposed by Tanya & Gary Enders, includes the remodeling of the existing interior of the residence along with a rear addition. The 2,093 SF residence, comprising the existing and the proposed addition, features a living room, dining room, kitchen, sunroom, den, two bedrooms, two bathrooms, laundry and storage space. In addition, a 291 SF uncovered deck is proposed at the rear of the residence. The project aims to reconfigure and enhance the existing space, while providing additional functional areas. The proposed remodel retains the aspect and character of the existing building. The rear addition is designed to complement the original structure, for a seamless integration.

The applicant seeks a pre-application conference to prepare for obtaining the required building and planning permits for the proposed development.

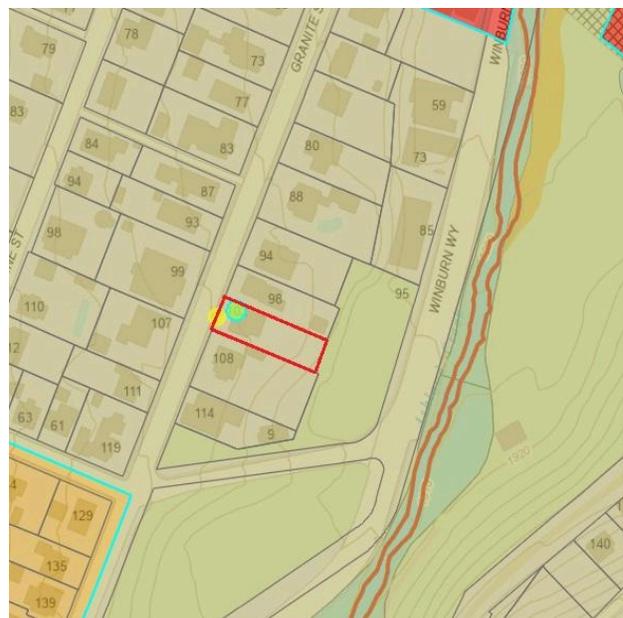
IV. Existing Conditions

The existing structure is a single story historic residence built in 1870, with a total footprint of 1,806 SF. The existing building height is 21'-0". Primary access to the site is provided from Granite St, through an existing shared driveway. The 0.19 acre property features existing landscaping, including shade trees, pedestrian pathways and partial perimeter fencing.

The approximate overall site coverage is currently 22% buildings, 2% impervious surfaces, and 76% landscaping. The site is relatively flat, with a gradual slope from west down to east. Underground City water, sewer, electricity and natural gas currently supply the site and existing residential building.



Subject parcels



Ashland existing zoning map

V. Zoning

Table 18.2.5.030.A. Unified Standards for Residential Zones

Standards	R-1-7.5
Standard Yards - Minimum (feet)	
Front - Standard	15 ft
Side - Standard	6 ft
Rear - Multi Story Building	10 ft
Building Height - Maximum (feet)	35 ft or 2 ½ stories

The footprints of the proposed expansion complies with the minimum yard standards outlined in Table 18.2.5.030.A. Unified Standards for Residential Zones. See attached Exhibit C - Schematic Architectural Site Plan for details.

The R-1-7.5 zone allows a maximum building height of 35 ft or 2 ½ stories, per Table 18.2.5.030.A. Unified Standards for Residential Zones. The proposed addition to the existing building is a single story and does not exceed the existing building height of 21'-0" above the finish grade.

The new building addition is proposed to the East side of the building. This, combined with part of the existing spaces, allows for a new bedroom, bathroom, closet and sunroom. The building form, roof shape and exterior finishes of the proposed structure have a strong relation to the building from 1870, to integrate and preserve its character.

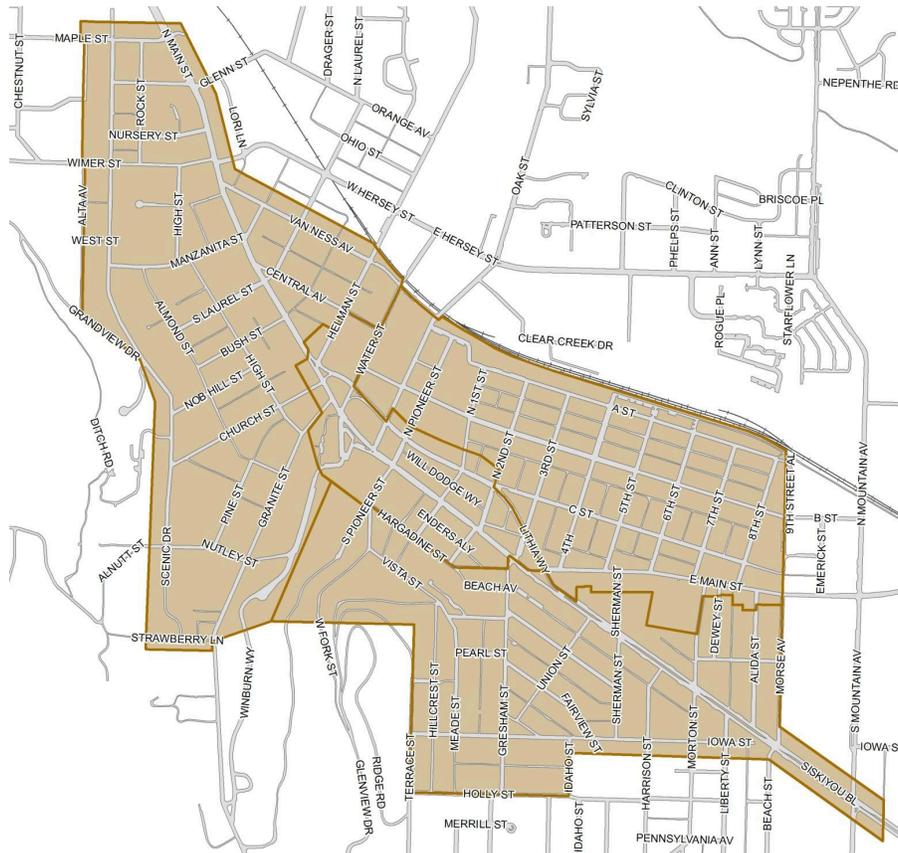
The proposed changes to the interior and exterior of the existing building include:

- Demolition of some interior walls. See Exhibit B - Demolition Site Plan.
- Demolition of HVAC existing components. See Exhibit B - Demolition Site Plan.
- Construction of new interior walls for a den, 2 bedrooms with closet space, 2 bathrooms, laundry room, sunroom.
- Modification of the existing plumbing system due to the relocation of bathrooms and laundry area.
- Modification of the existing electrical system.
- Construction of a deck area.
- Relocation of HVAC. See Exhibit C - Site Plan.

The lot coverage of buildings and impervious surfacing in the proposed development is 28%, with 72% landscaping. This meets the maximum lot coverage allowed in zone R-1-7.5 of 55%.

VI. Overlay Zones

The property at 102 Granite St is located within the Historic District Overlay Zone. Therefore, the proposed project is subject to the design standard in section 18.4.2.050. As part of this overlay, any proposed alterations, additions, or new construction on the site are subject to review to ensure they are compatible with the historic character of the district.

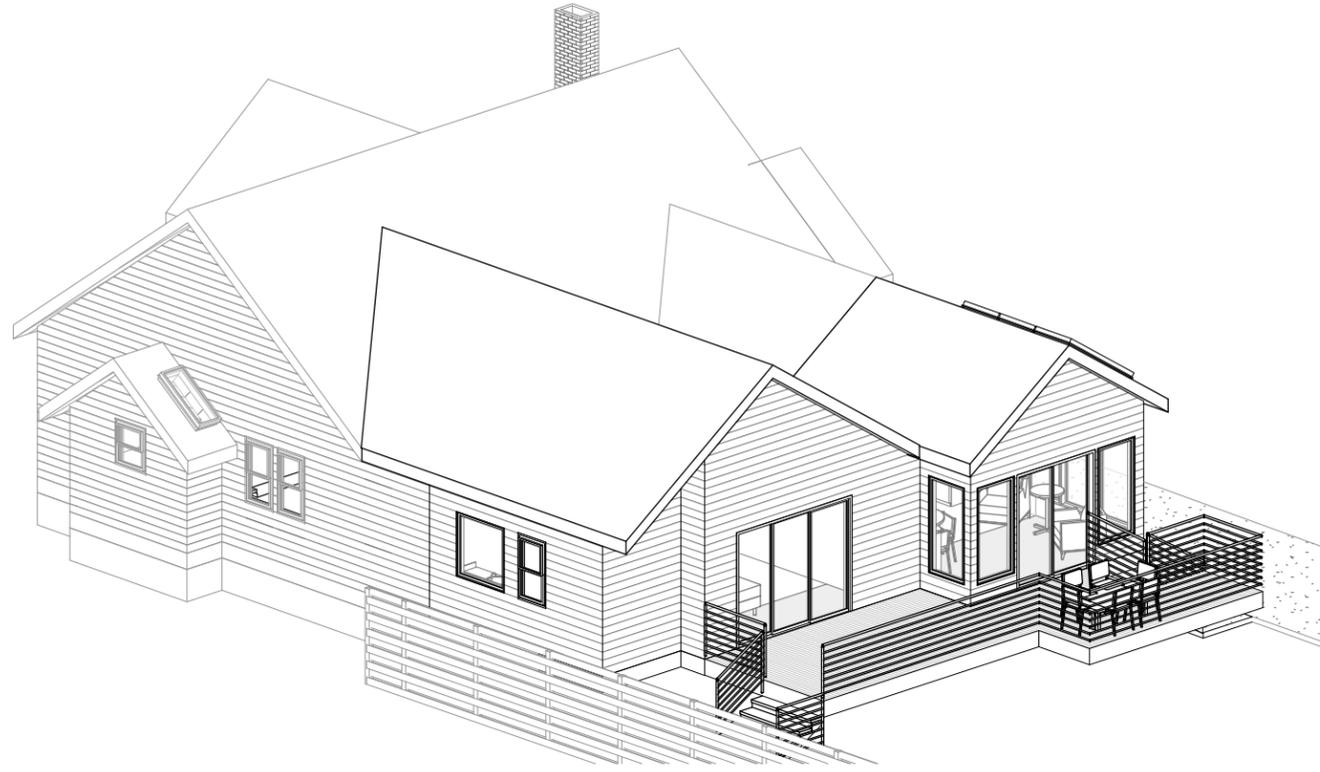


18.4.2.050. Historic District Overlay

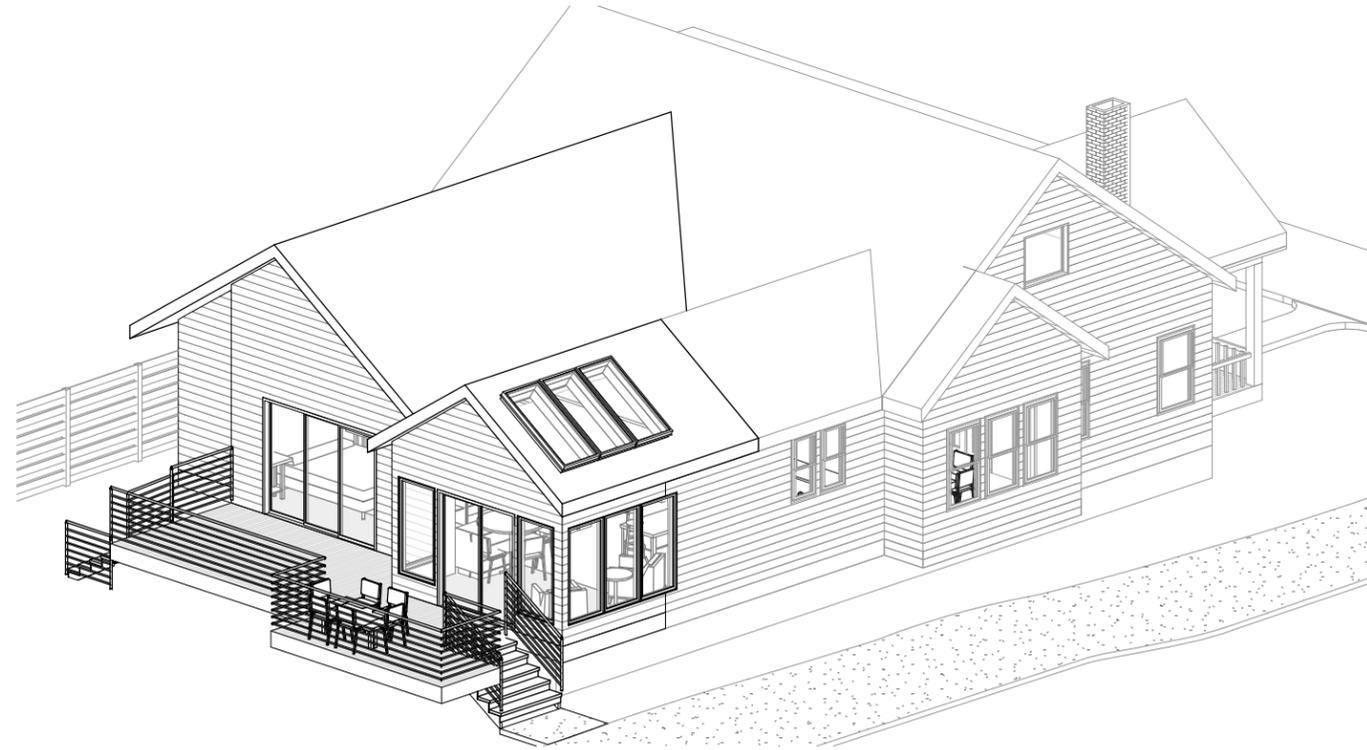
The project will preserve the architectural features and original materials of the existing building. In particular, no changes to the primary entrance and the existing covered portico are included. Should the existing windows need to be replaced, the new ones will match the existing in aspect and construction. Extensive modifications to the building exterior are limited to the rear side of the building, where the new addition is proposed.

The proposed addition is designed to be compatible with the original structure, ensuring a harmonious integration that respects the building's historic character. It does not exceed it in height and its width and massing have similar proportions as both the existing building and the buildings in the immediate vicinity. The new roof type, pitch and material match the existing roof. See attached Exhibit E - Schematic Building Elevations for details.

The placement of the proposed addition ensures limited visibility from the street and low visual impact on the property's frontage. While the new East facade has larger openings towards the backyard, the South side presents smaller windows, in dialogue with the rhythm of opening on the existing facades. The North side of the addition, while integrated with the existing building, presents larger windows in correspondence with the sunroom, appearing clearly identifiable as a new construction. See attached Exhibit E - Schematic Building Elevations for details.



3D VIEW - SOUTH-EAST

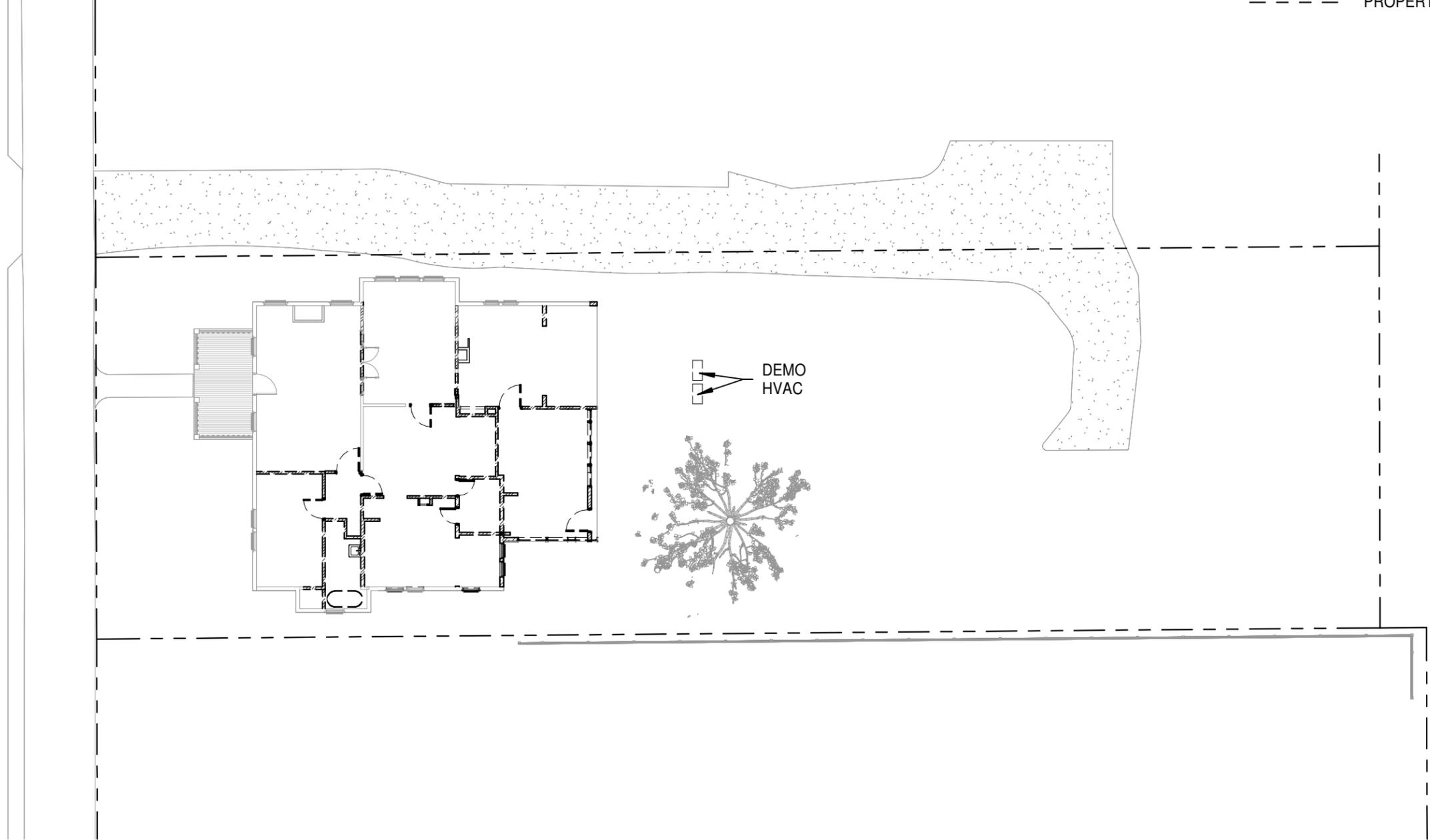


3D VIEW - NORTH-EAST

DEMOLITION SITE PLAN

1/16" = 1'-0"

GRANITE STREET



LEGEND

- ////// WALL TO BE DEMOLISHED
- _____ EXISTING WALL TO REMAIN
- - - - - PROPERTY LINE



VICINITY MAP



PROPERTY INFO:

ADDRESS: 102 GRANITE ST. ASHLAND, OR 97520
 TOTAL ACREAGE: 0.19 AC

PROJECT SUMMARY:

INTERIOR REMODEL OF EXISTING RESIDENCE
 AND REAR ADDITION

CLIENT INFO:

NAME: TANYA AND GARY ENDERS
 ADDRESS: 102 GRANITE ST. ASHLAND, OR 97520

ZONING INFO:

ZONING MAP DESCRIPTION: R-1-7.5 (SINGLE
 FAMILY RESIDENTIAL)
 MAP & TAX LOT NUMBER: 391E09BC - 3301
 REQUIRED SETBACKS: 15 FT ON STREET SIDE
 6 FT ON SIDE
 10 FT ON REAR SIDE
 MAX BLDG. HEIGHT: 35 FT

PLANNING SUMMARY:

TOTAL LOT AREA: 0.19 ACRES (8,276 SF)
 EXISTING STRUCTURE: 1,806 SF (22%)
 PROPOSED ADDITION: 288 SF (4%)
 IMPERVIOUS SURFACES: 151 SF (2%)
TOTAL PROPOSED LOT AREA COVERAGE: 28%
 (MAXIMUM ALLOWED: 45%)

LANDSCAPE AREA: 6,031 SF (72%)
 (MIN. REQUIRED: 55%)

BUILDING AREA SUMMARY:

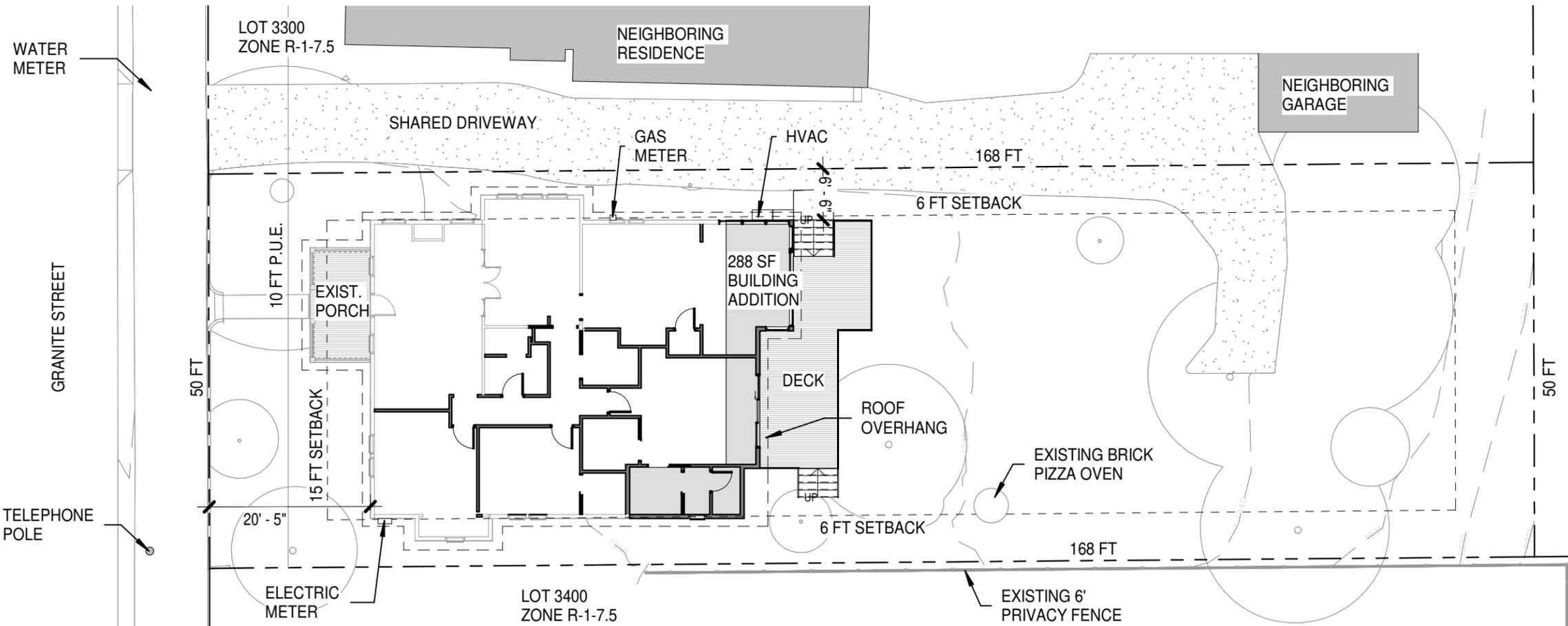
EXISTING BUILDING AREA: 1,806 SF
 PROPOSED BUILDING ADDITION: 288 SF
 TOTAL BUILDING AREA (GROSS): 2,094 SF

SOLAR ACCESS:

AVERAGE SLOPE: 0.02/2 = 0.01
 BUILDING HEIGHT (ROOF RIDGE)
 NEW ADDITION NORTG SIDE: 17'3" (8:12 ROOF
 SLOPE)
 HIGHEST SHADE PRODUCING POINT
 NEW ADDITION: 17'3" (TOP OF RIDGE)
 SETBACK FORMULA STANDARD A
 $17.25' - 6 = 11.25$
 $0.445 + 0.01 = 0.455$
 $11.25 / 0.455 = 24.72'$

LEGEND

-  NEW WALL
-  EXISTING WALL TO REMAIN
-  NEW FLOOR



SITE PLAN

1/16" = 1'-0"



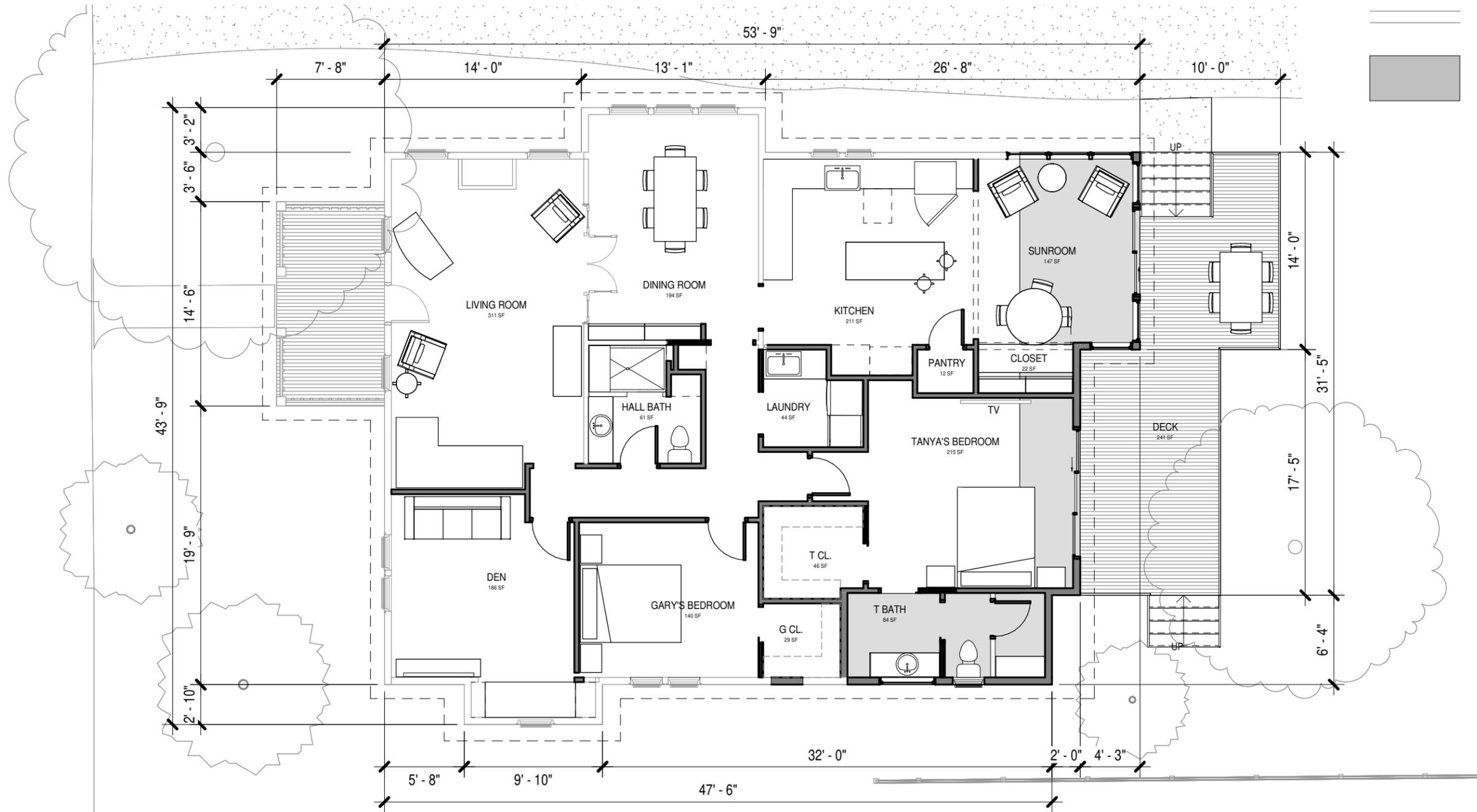
Tanya and Gary Enders
Granite 102
 102 Granite Street, Ashland, Or 97520

Project No: 25-14
 Date: 11.26.2025

Sheet No
SD-03
 Sheet Name
SITE PLAN

FLOOR PLAN

1/8" = 1'-0"



LEGEND

-  NEW WALL
-  EXISTING WALL TO REMAIN
-  NEW FLOOR





NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"



SOUTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"

TOPOGRAPHIC MAP

LOCATED IN THE NORTHWEST QUARTER OF SECTION 9,
TOWNSHIP 39 SOUTH, RANGE 1 EAST,
WILLAMETTE MERIDIAN,
CITY OF ASHLAND, JACKSON COUNTY, OREGON

SITE:
102 GRANITE STREET
ASHLAND, OREGON

FOR:
ARKITEK : DESIGN & ARCHITECTURE
AND
TANYA ENDERS

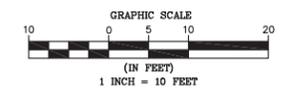
DATE: 09-25-2025
CONTOUR INTERVAL = 1'
SCALE: 1" = 20'

PROJECT NOTES:

1. BASIS OF BEARING WAS DETERMINED BY RTK (REAL TIME KINEMATIC) GPS OBSERVATIONS ORIENTATED TO TRUE GEODETIC NORTH.
2. BOUNDARY LINES SHOWN REPRESENT A FULLY RESOLVED BOUNDARY.
3. VERTICAL DATUM IS NGVD29(56).
4. UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY TIES OF VISIBLE UTILITIES AND O.U.N.C LOCATE PAINT PER TICKET #25293308. NO ATTEMPT WAS MADE TO LOCATE HIDDEN UTILITIES. TERRASURVEY TAKES NO RESPONSIBILITY TO THE ACTUAL LOCATION OF UNDERGROUND UTILITIES OR THEIR CONNECTIONS.
5. CONTOURS ARE 1' INTERVALS.

LEGEND

- ELECTRIC METER
- GAS METER
- HEAT PUMP
- HOSE BIB
- IRRIGATION CONTROL BOX
- POST
- PROPERTY CORNER
- UTILITY POLE (WOOD)
- WATER METER
- BOUNDARY LINE (SEE NOTE 2)
- BUILDING EAVE
- BUILDING FOOTPRINT
- CONCRETE RETAINING WALL
- FENCE (6' WOOD)
- HAND PLACED STONE WALL
- TREE DRIP (APPROXIMATE)
- OVERHEAD COMMUNICATIONS
- UNDERGROUND COMMUNICATIONS
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND SEWER
- TREE (SEE TREE TABLE)
- CONCRETE SURFACE
- GRAVEL SURFACE



TREE TABLE			
POINT #	TYPE	DIAMETER	NOTES
1530	DECIDUOUS	8"	
1535	DECIDUOUS	6"	
1606	CONIFER	48"	
1636	DECIDUOUS	3"	
1689	DECIDUOUS	4"	
1691	DECIDUOUS	14"	
1711	DECIDUOUS	3"	
1733	DECIDUOUS	3"	
1769	CONIFER	16"	SPLITx2
1770	CONIFER	16"	
1771	CONIFER	18"	
1772	DECIDUOUS	15"	
1774	CONIFER	20"	
1779	DECIDUOUS	5"	

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 12, 2018
PHILIP J. DROSSOS
90718

RENEWS: 12-31-2025

TERRASURVEY, INC.

PROFESSIONAL LAND SURVEYORS

2305 ASHLAND ST. #104-326
ASHLAND, OREGON 97520

(541) 482-6474
terrain@bisp.net

JOB NO. 1995-25